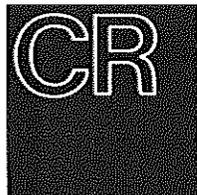
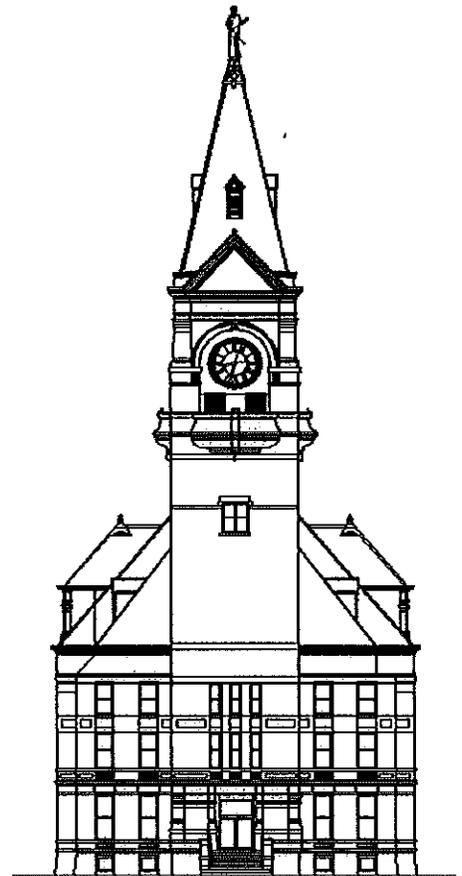


**FEASIBILITY STUDY
FOR
INTERIOR RENOVATIONS
TO
THE CLARION COUNTY
COURTHOUSE**

**CRA Project No.
2403**

August 9, 2011



**Crabtree, Rohrbaugh & Associates
Architects**

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INTERIOR RENOVATIONS TO THE CLARION COUNTY COURTHOUSE

EXECUTIVE SUMMARY

AUGUST 9, 2011

HISTORY

In 2011 the Clarion County Commissioners and various other departments moved into the Clarion County Administration Building located at 330 Main Street, Clarion, PA. In addition to the Commissioners Offices the following departments relocated to the facility from the Courthouse: 1) Planning Department, 2) Treasurer's Office, 3) Office of Veterans Affairs, 4) Office of Voter Registration, 5) Bureau of Elections, and 6) Office of Central Accounting.

STUDY RATIONALE

The Clarion County Commissioners have determined that the Clarion County Courthouse shall be evaluated to accommodate the current and future needs of the County Offices to remain housed there particularly the Courts as well as to relocate the Department of Adult and Juvenile Probation from a leased space at 500 Main Street, Clarion.

STUDY APPROACH

Crabtree, Rohrbaugh & Associates was hired in March 2011 to complete a comprehensive analysis of the existing courthouse, and to work with the Courts, the Sherrif's Department, and the Adult and Juvenile Probation Department to complete a program for space needs. Included in the analysis are Hazardous Materials Analysis, and HVAC, Plumbing, and Electrical Systems analysis. A codes analysis was completed to identify areas of non-compliance.

OPTION DEVELOPMENT

The design team presented several options to the County Commissioners, Judge James Arner, Courts Administrator Tammy Slike, Sherrif Rex Munsee, and Jayne Smail, Director, Adult and Juvenile Probation. The agreed upon options to be evaluated include Option 1 and Option 3A which are presented in detail in this report. The primary difference between the two options is the addition of an elevator at the front of the building in Option 3A.

ACKNOWLEDGEMENTS

This report was prepared by the following professionals:

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CRABTREE, ROHRBAUGH & ASSOCIATES wishes to thank the following individuals who contributed to this report.

CLARION COUNTY COMMISSIONERS

Dave Cyphert, Chairman
Donna Hartle,
Tim Reddinger

CLARION COUNTY COURTS

Judge James G. Arner
Tammy Slike

ADULT AND JUVENILE PROBATION

Jayne Smail

SHERIFF'S DEPARTMENT

Sherrif Rex Munsee

PROJECT APPROACH / OPTION DEVELOPMENT:

The Clarion County Courthouse is a historic structure built in 1885. The exterior of the Courthouse was restored to its original condition in 2002 and remains in excellent condition. The interior of the courthouse however has seen only piecemeal repair or renovations over the last 30 years. The most significant issues to be addressed in the proposed renovations include the following:

1. **COURTS:** Address the security and space requirements for the expanded Courts Offices.
2. **PROBATION:** Address the security and space needs for the Office of Adult and Juvenile probation.
3. **SHERIFF:** Address the security and space needs for the Sheriff's Office.
4. **SECURITY:** Provide separation of public vs. court related functions to improve security for staff, defendants, the Judges, and the public.
5. **ACOUSTICS:** Evaluate and provide recommendations on improving the acoustics in the Main Court Room including sound absorption, sound amplification, and control of mechanical noise.
6. **PLUMBING:** Upgrades to the buildings plumbing system and ADA accessibility requirements
7. **HVAC:** Upgrade the buildings HVAC systems to address energy efficiency, control problems, ventilation, and air quality.
8. **ELECTRICAL:** Upgrades to the building electrical systems including lighting, power distribution, and clean power for data.
9. **SPECIAL SYSTEMS:** Upgrades and cable management systems for data, phone, security, and special systems.
10. **HAZARDOUS MATERIALS:** Identify any hazardous materials in the building which may be impacted by the proposed renovations.

OPTION DEVELOPMENT

Of the options presented to the Clarion County project team, two options were identified as worthy of further development.

OPTION 1: Provides for the following:

1. **Ground Floor:** Renovations for offices for Probation with secure entrance adjacent to the existing elevator at the east end of the building.
2. **First Floor:** Renovations for the Sheriff's office

3. **Second Floor:** Renovations include public restrooms for the Court facilities, renovations to the Main Court Room, new attorney conference rooms, new judges chambers and court administrators office, new jury deliberation room, new Auditors and Jury Commissioners room, new staff toilets, new administrative space for court staff
4. **Third Floor:** Renovations include law library/safe comp. room, new second Courtroom, new judges chambers, new administrative space for court staff, new jury deliberation room, new conference room, and new staff toilets
5. **Accessibility:** Handicap accessibility provided at the basement level via the existing exterior ramp and development of a secure vestibule with call station for sheriff's escort thru the Probation Offices to reach the elevator.
6. **Security & Vertical Circulation:** This option utilizes a single elevator for handicap accessibility and movement of defendants within the courthouse. The public, court staff, and defendants can often utilize the same elevator.

OPTION 3A: Provides for the following:

1. **Ground Floor:** Renovations for offices for Probation with secure entrance adjacent to a new elevator at the west end of the building.
2. **First Floor:** Renovations for the Sheriff's office
3. **Second Floor:** Renovations include public restrooms for the Court facilities, renovations to the Main Courtroom. attorney conference rooms, judges chambers and court administrators office, new Auditors and Jury Commissioners room, new staff toilets, and new administrative space for court staff
4. **Third Floor:** Renovations include law library/safe comp. room, new second Courtroom, new judges chambers, new administrative space for court staff, new jury deliberation rooms, new conference room, and new staff toilets
5. **Accessibility:** Handicap accessibility provided at the basement level via the existing exterior ramp and development of a secure vestibule with call station for sheriff's escort to the first floor via the new elevator.
6. **Security & Vertical Circulation:** This option utilizes two elevators for handicap accessibility and separates movement of staff and defendants from the public within the courthouse thus significantly improving safety and security for all.

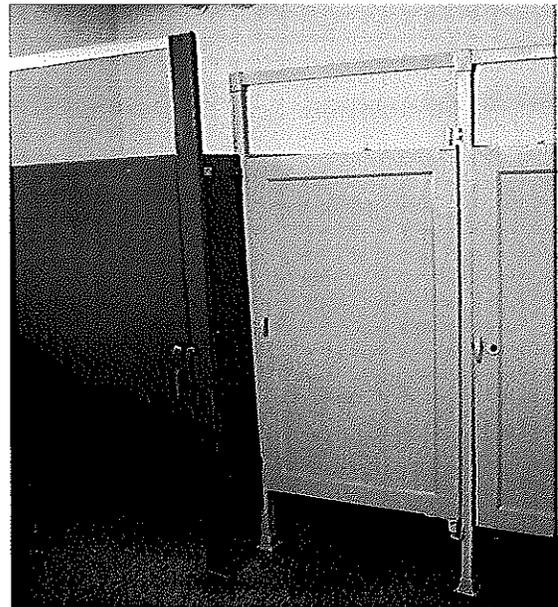
CLARION COUNTY COURTHOUSE EXISTING ARCHITECTURAL CONDITIONS

GENERAL BUILDING CONDITIONS:

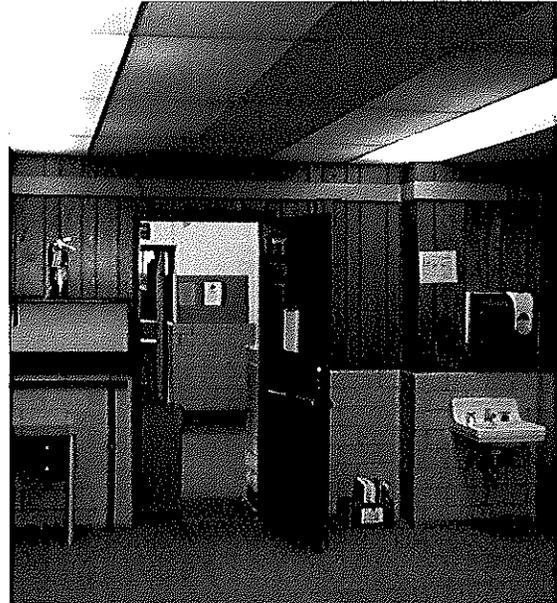
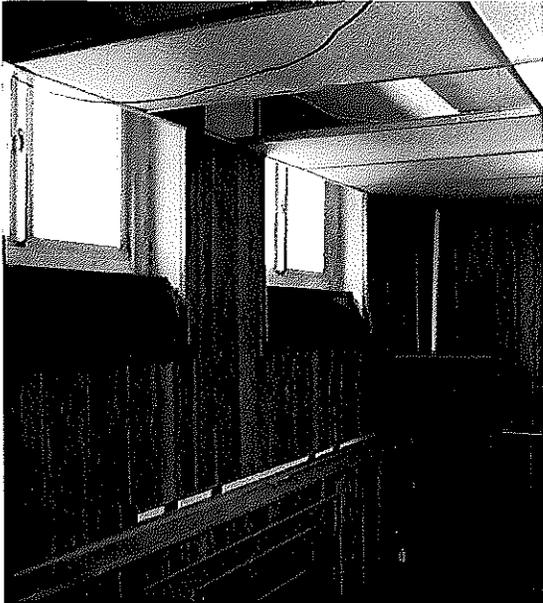
1. Exterior windows – Aluminum w/ 1” insulated glazing – good condition in most locations
 - a. Some rattling – owner comment
 - b. Some drafts – owner comment
2. Wood wall base – fair condition in most locations
3. Original wood doors, frames & casings – fair condition in most locations

GROUND FLOOR:

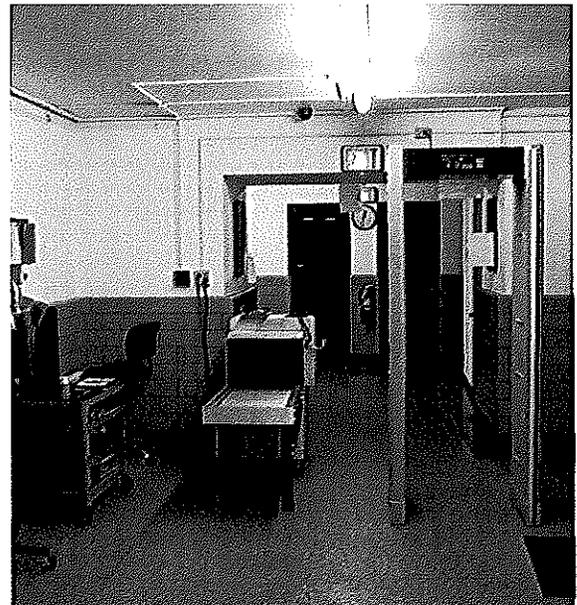
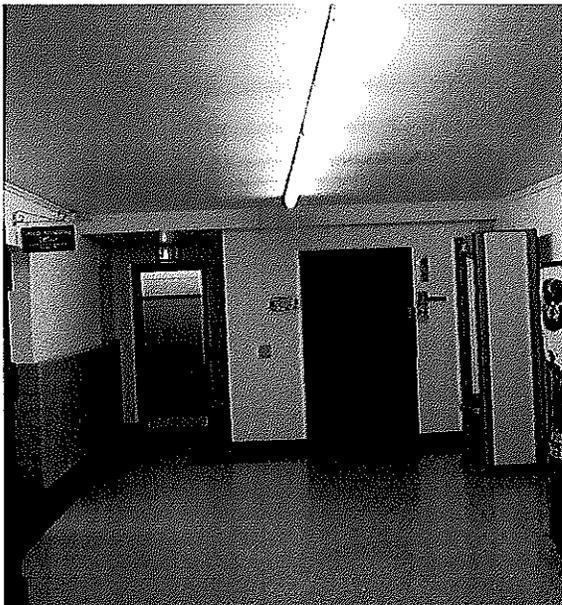
1. Elevator, Stairs & Equipment Room (D001)
 - a. Terrazzo flooring & treads – good condition
 - b. Painted steel pickets & wood handrails – good condition
 - c. Wood window trim – poor condition
 - d. Painted plaster walls – fair condition
2. Janitor (D002), Men’s Restroom (D003), Women’s Restroom (D004), Maintenance Storage (D005)
 - a. Toilet partitions do not meet accessibility requirements.
 - b. Partition wall & door locations do not meet accessibility requirements.
 - c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
 - d. Terrazzo floor – fair condition
 - e. Painted CMU walls – fair condition
 - f. Exposed HVAC & piping
 - g. Surface-mounted lighting fixtures



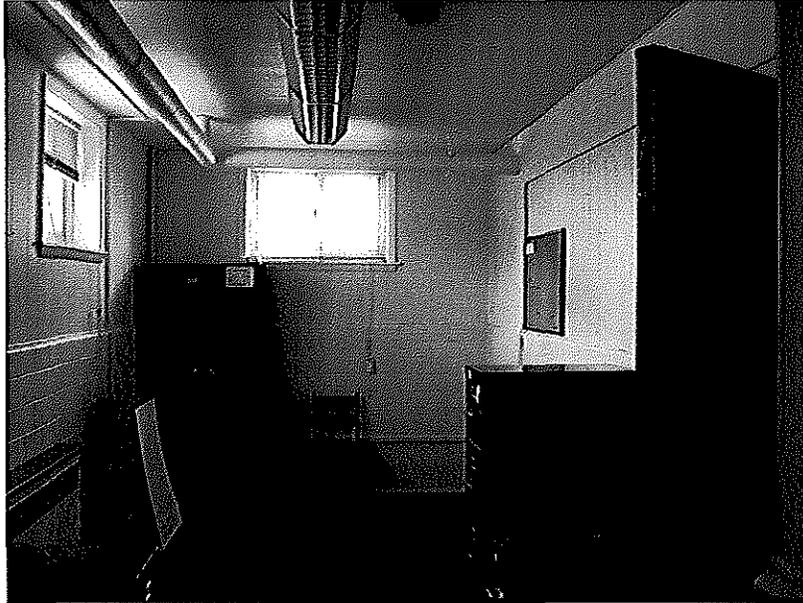
3. Accounting (D006, D007, D008, D009), Treasurer (D010), Sherriff's Offices (D011, D012, D013, D014, D015)
- a. Carpeted flooring – poor condition
 - b. Acoustical ceiling system with lay-in lighting – poor condition
 - c. Exposed HVAC & piping
 - d. Surface-mounted electrical conduit & wiring systems
 - e. Wood-paneled walls & wood wall base – fair condition
 - f. Exterior door to grade without security monitoring



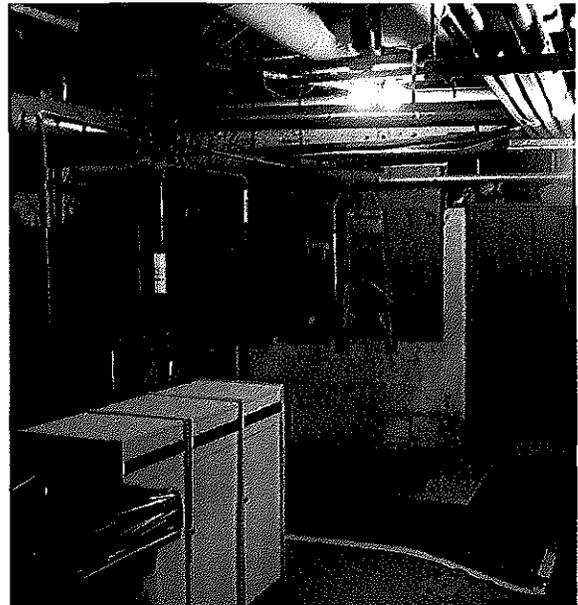
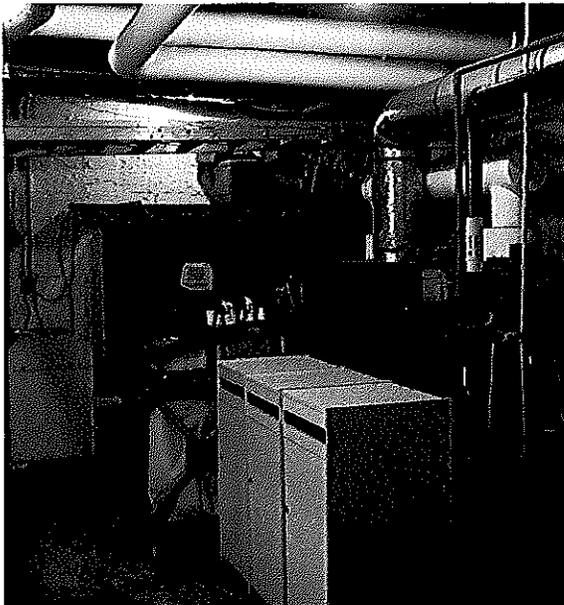
4. Elevator Lobby (D016), Corridor (D017), Vestibules (D018, D019), Storage (D020, D021)
- a. Painted and Glazed CMU walls – good condition
 - b. Terrazzo floor – good condition
 - c. Surface-mounted lighting
 - d. Exposed HVAC & piping
 - e. Surface-mounted electrical conduit & wiring systems



5. Meter Room (D022) – no comments
6. Planning Office (D023, D024)
 - a. Carpeted flooring – poor condition
 - b. Surface-mounted lighting fixtures
 - c. Exposed HVAC & piping
 - d. Surface-mounted electrical conduit & wiring systems
 - e. Wood-paneled walls & wood wall base – fair condition



7. Maintenance Room (D025), Storage (D026), Boiler Room (D027), Maintenance Storage (D028)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical & wiring systems
 - c. Steam Boilers
 - d. Obsolete electrical and data services
 - e. Exterior door to grade without security monitoring

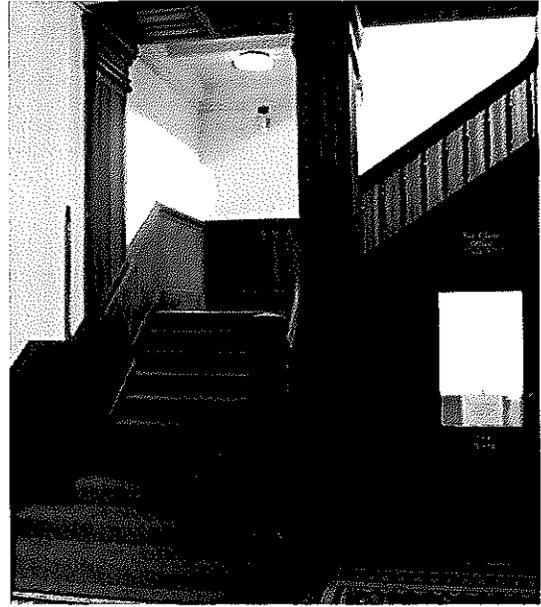


FIRST FLOOR:

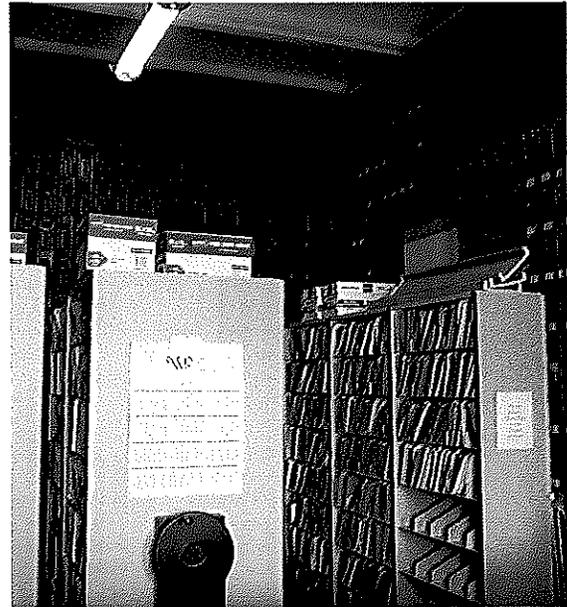
1. Elevator & Stairs
 - a. Terrazzo flooring & treads – good condition
 - b. Painted steel pickets & wood handrails – good condition
 - c. Wood window trim – poor condition
 - d. Painted plaster walls – fair condition
2. Assessor's Office (D101, D102) & Mezzanine (D103)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Plaster walls with wood wainscot – good condition
 - d. Wood-paneled walls & wood wall base – fair condition
 - e. Gypsum partition walls, no base – poor condition
 - f. Exposed vaulted-ceiling – good condition
 - g. Gypsum ceiling with recessed lighting – fair condition
 - h. Carpeted flooring – poor condition



3. Corridor (D104) & Lobby (D105)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Plaster walls with wood wainscot
 - d. Exposed vaulted-ceiling – good condition
 - e. Tile flooring – fair condition, some cracked tiles
 - f. Pendant incandescent uplighting – fair condition
 - g. Historic wood stairs – original to building – good condition
 - i. Railings, balusters & other woodwork – good condition
 - ii. Carpet on stairs – fair condition

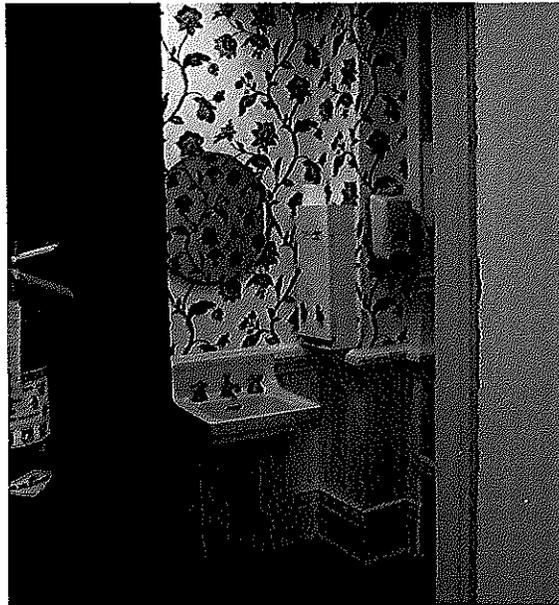


4. Files (D106, D107), Register and Recorder of Deeds (D108), Prothonotary (D109, D110, D111) & Lounge (D112)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Plaster walls – good condition
 - d. Exposed vaulted-ceiling – good condition
 - e. Carpeted flooring – poor condition
 - f. Fixed and movable file storage systems – good condition
 - g. Wood filing system original to building
 - h. Pendant fluorescent lighting – fair condition

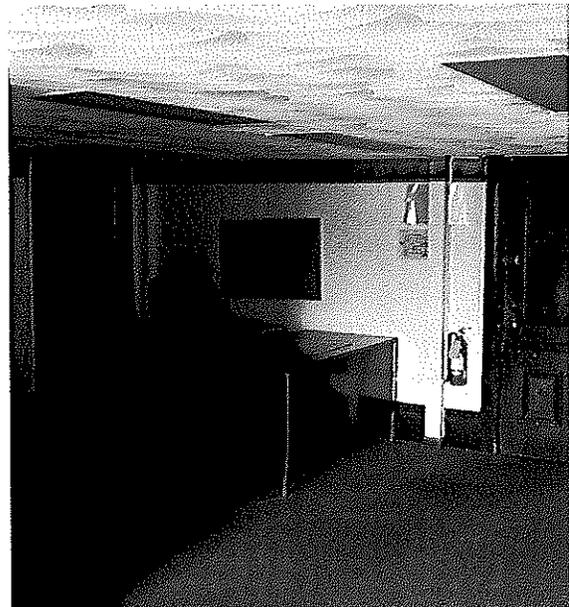
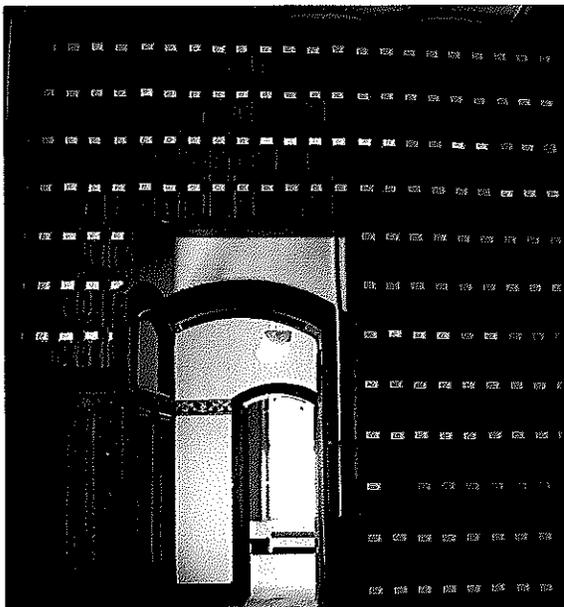


5. Toilet (D113)
 - a. Step-up does not meet accessibility requirements
 - b. Wall & door locations do not meet accessibility requirements.
 - c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
 - d. Carpeted flooring – poor condition

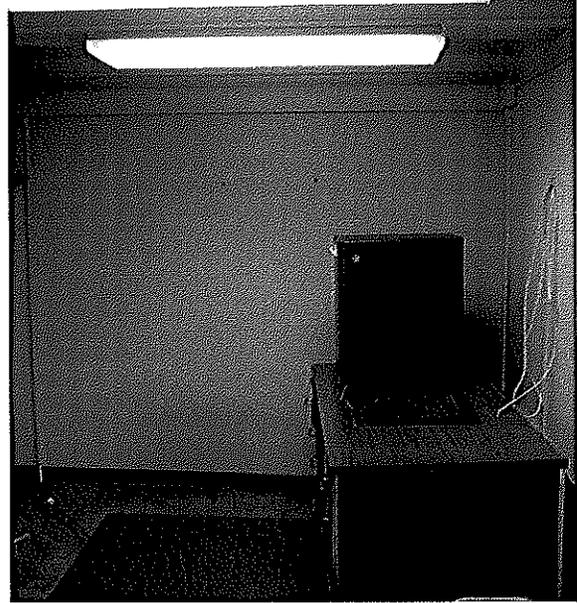
- e. Wall-papered plaster walls with wood wainscot – fair condition
- f. Exposed HVAC & piping
- g. Acoustical ceiling system with lay-in lighting fixtures – fair condition



- 6. Reception/Switchboard (D114), Register's Recorder (D115, D117) , Voter Registration (D116, D118), Hall (D119) & Chief Clerk (D120)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Plaster walls – good condition
 - d. Exposed vaulted-ceiling – good condition
 - e. Gypsum ceiling with recessed lighting – fair condition
 - f. Carpeted flooring – poor condition
 - g. Wood filing system original to building
 - h. Pendant fluorescent lighting – poor condition

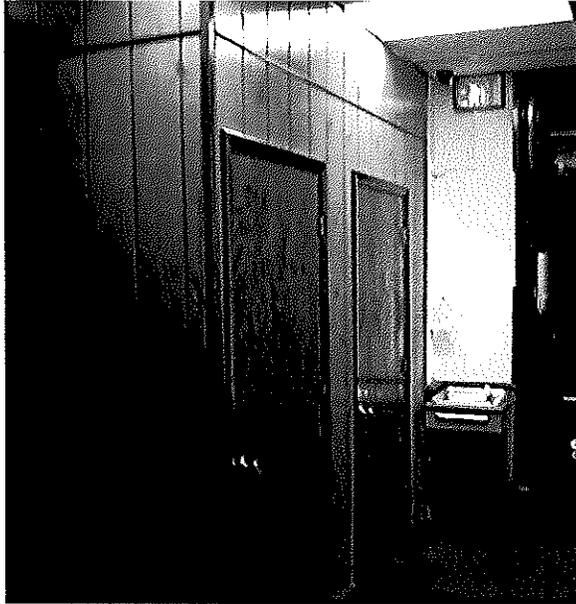


7. Commissioner's Offices Mezzanine (D121, D122, D123)
 - a. Carpeted flooring – poor conditions
 - b. Painted Gypsum wall partitions with wood wall base – fair condition
 - c. Exposed HVAC & piping
 - d. Surface-mounted electrical conduit & wiring systems
 - e. Exposed vaulted ceiling – good condition
 - f. Surface-mounted fluorescent lighting – poor condition



SECOND FLOOR:

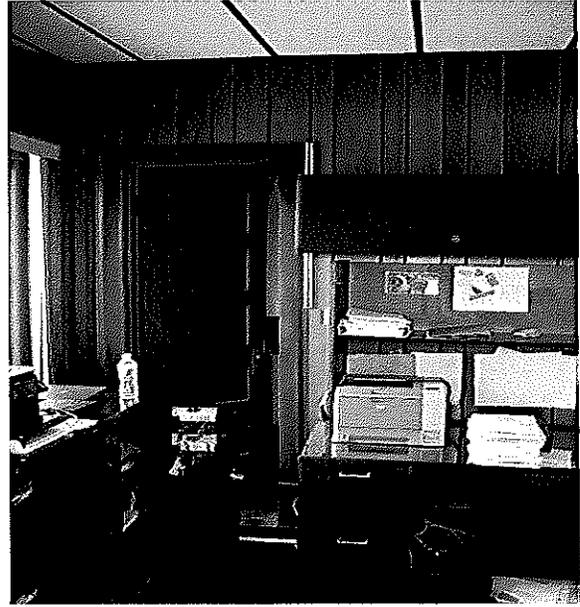
1. Elevator & Stairs
 - a. Terrazzo flooring & treads – good condition
 - b. Painted steel pickets & wood handrails – good condition
 - c. Wood window trim – poor condition
 - d. Painted plaster walls – fair condition
2. Elevator Lobby (D201)
 - a. Carpeted flooring – fair condition
 - b. Acoustical ceiling with lay-in lighting fixtures – fair condition
 - c. Exposed HVAC & piping
 - d. Surface-mounted electrical conduit & wiring systems
 - e. Plaster walls with wood wall base – good condition
 - f. Wood-paneled walls & wood wall base – fair condition



3. Toilet Rooms (D202, D203)
 - a. Step-up does not meet accessibility requirements
 - b. Wall & door locations do not meet accessibility requirements.
 - c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
 - d. Carpeted flooring – poor condition
 - e. Laminate-covered plaster walls – poor condition
 - f. Exposed HVAC & piping
 - g. Acoustical ceiling system with lay-in lighting fixtures – fair condition

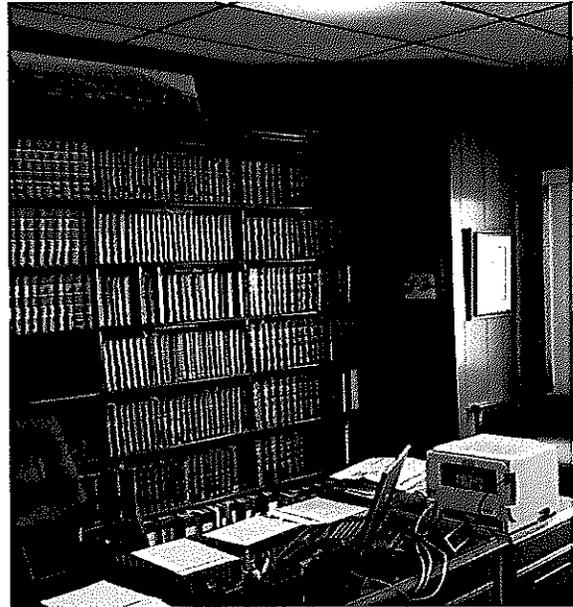
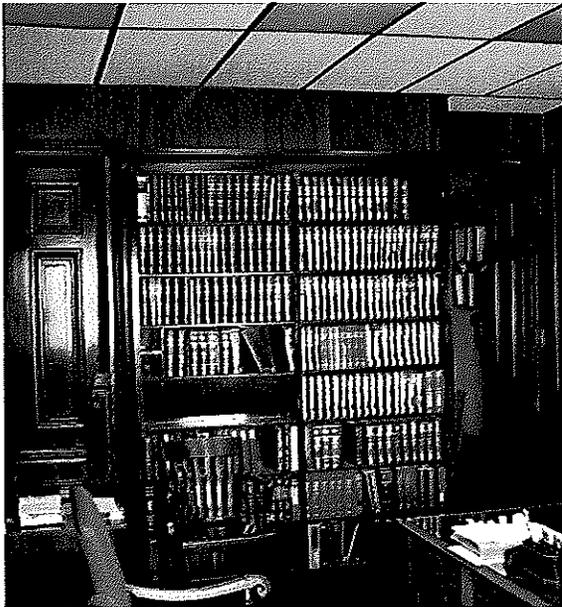


4. Court Administrator (D204)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Wood-paneled walls & wood wall base – fair condition
 - d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
 - e. Carpeted flooring – fair condition



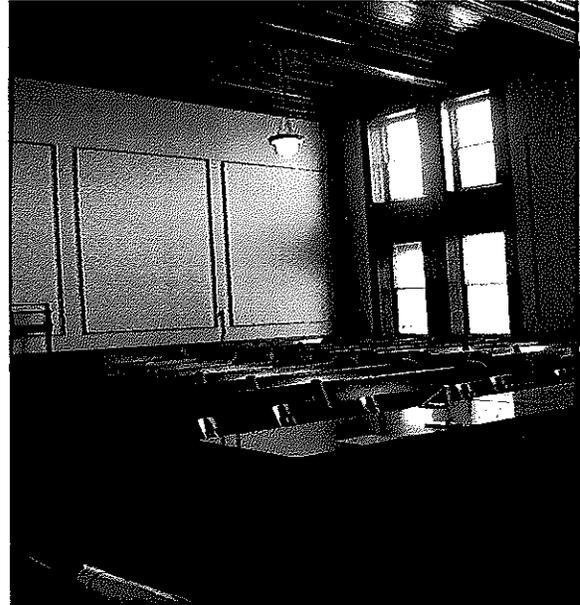
5. Judge's Chambers (D205)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wood-paneled walls & wood wall base – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – fair condition
- f. Built-in bookcases – good condition



6. Courtroom 1 (D206)

- a. Surface-mounted electrical conduit & wiring systems
- b. Wall-papered plaster walls with wood wainscot
- c. Exposed coffered wood ceiling – good condition
- d. Carpeted flooring – fair condition
- e. Insufficient electrical and data systems
- f. Insufficient acoustical treatment
- g. Fixed and movable millwork – historic & original to the building



7. Toilet (D207)

- a. Step-up does not meet accessibility requirements
- b. Wall & door locations do not meet accessibility requirements.
- c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
- d. Linoleum flooring – fair condition
- e. Painted plaster walls – fair condition
- f. Exposed HVAC & piping
- g. Acoustical ceiling system with lay-in lighting fixtures – fair condition



8. Conference Room (D208)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wall-papered walls & wood wall base – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition



9. Public Lobby (D209)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Plaster walls with wood wainscot – fair condition
- d. Plaster ceiling – good condition
- e. Tile flooring – fair condition, some cracked tiles
- f. Historic wood stairs – original to building – good condition
 - i. Railings, balusters & other woodwork – good condition
 - ii. Carpet on stairs – fair condition

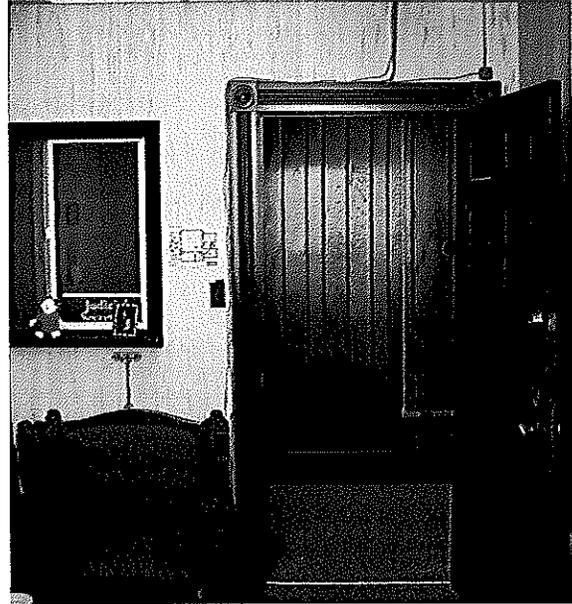
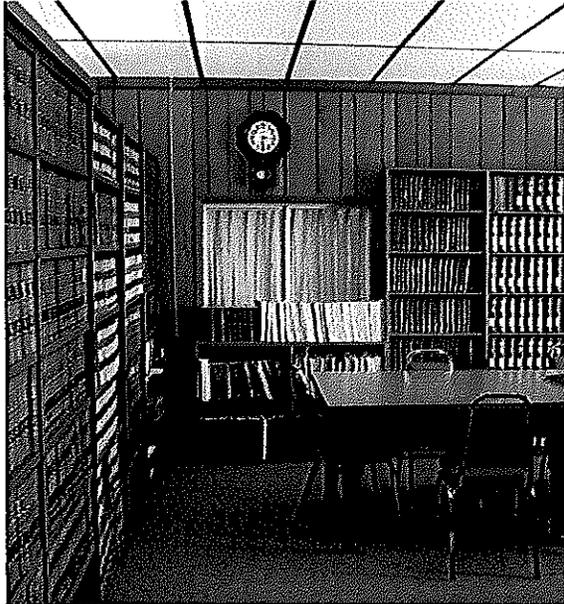


10. Offices (D210, D211)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wood-paneled walls & wood wall base – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – poor condition
- e. Carpeted flooring – poor condition

11. Law Library (D212) & Deputy Court Administrator (D213)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wood-paneled walls & wood wall base – fair condition
- d. Translucent ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition
- f. Library stacks – metal shelving – fair condition



12. Men's Restroom (D214)

- a. Step-up does not meet accessibility requirements
- b. Wall & door locations do not meet accessibility requirements.
- c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
- d. Toilet partitions do not meet accessibility requirements.
- e. Ceramic tile flooring – good condition
- f. Painted plaster walls – good condition
- g. Exposed HVAC & piping
- h. Plaster ceiling with surface-mounted lighting fixtures – fair condition



13. Hall (D215), Secretary (D216) & Judge's Chambers (D217)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wood-paneled walls & wood wall base – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition



THIRD FLOOR:

1. Elevator & Stairs

- a. Terrazzo flooring & treads – good condition
- b. Painted steel pickets & wood handrails – good condition
- c. Wood window trim – poor condition
- d. Painted plaster walls – fair condition



2. Elevator Lobby (D301)

- a. Tile flooring – good condition
- b. Acoustical ceiling with suspended lighting fixtures – fair condition
- c. Exposed HVAC & piping
- d. Surface-mounted electrical conduit & wiring systems

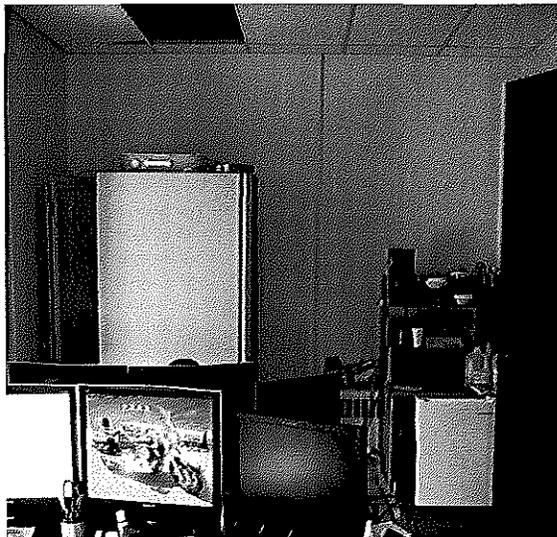
3. Second Courtroom (D302)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Wood-paneled walls & wood wall base – fair condition
- d. Translucent ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition
- f. Fixed and movable millwork – fair condition



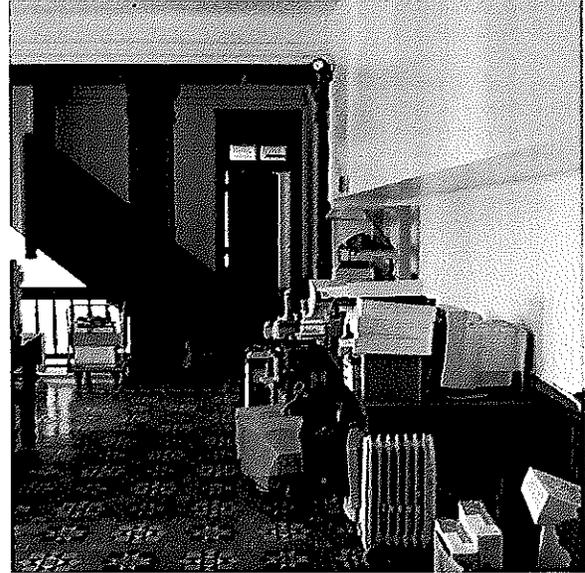
4. I.T. (D303)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Painted plaster walls – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition



5. Public Lobby (D304)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Plaster walls with wood wainscot – good condition
- d. Plaster ceiling – good condition
- e. Tile flooring – fair condition, some cracked tiles
- f. Historic wood stairs – original to building – good condition
 - i. Railings, balusters & other woodwork – good condition
 - ii. Carpet on stairs – fair condition



6. Office (D305), Human Resources (D306, D307, D308) & Passage (D309)

- a. Exposed HVAC & piping
- b. Surface-mounted electrical conduit & wiring systems
- c. Painted plaster walls – fair condition
- d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
- e. Carpeted flooring – poor condition



7. Corridor (D310)

- a. Asbestos tile flooring – good condition
- b. Low HVAC painted gypsum bulkheads along wall shared with Courtroom 1
- c. Surface-mounted electrical conduit & wiring systems
- d. Painted plaster walls – good condition
- e. Plaster ceiling with surface-mounted lighting fixtures – fair condition

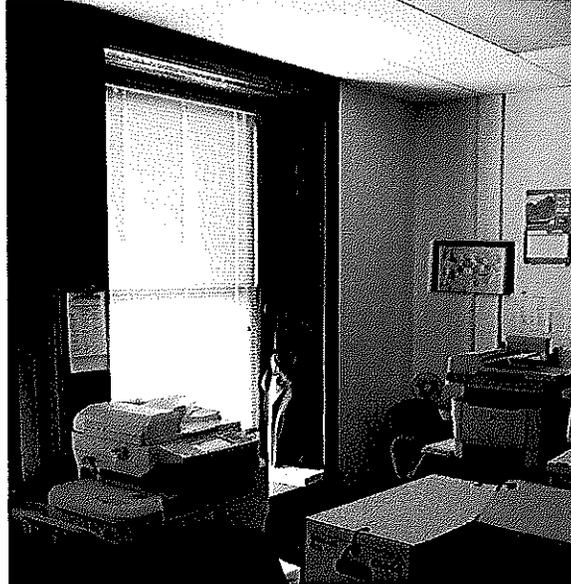


8. Toilet Rooms (D311, D312, D313, D314)

- a. Step-up does not meet accessibility requirements
- b. Wall & door locations do not meet accessibility requirements.
- c. Fixtures and accessories do not meet accessibility requirements or plumbing code.
- d. Linoleum flooring – fair condition
- e. Painted plaster walls – fair condition
- f. Exposed HVAC & piping
- g. Acoustical ceiling system with lay-in lighting fixtures – fair condition



9. Judge's Chambers (D315) & Conference Room (D316)
 - a. Exposed HVAC & piping
 - b. Surface-mounted electrical conduit & wiring systems
 - c. Plaster walls & wood wall base – fair condition
 - d. Acoustical ceiling system with lay-in lighting fixtures – fair condition
 - e. Carpeted flooring – poor condition



CLARION COUNTY COURTHOUSE EXISTING MECHANICAL, ELECTRICAL & PLUMBING CONDITIONS AND RECOMMENDATIONS

General

This report is a “snapshot” of the MEP systems in the condition they were in on the day of our walkthrough. Costs listed are representative of the costs for the recommendation listed. If architectural renovations are considered, the costs associated with the modification of these systems are NOT included below and must be included in any cost estimates for those architectural renovations.

HVAC

System

- The overall HVAC system is a steam heating system original to the building with replacement of boiler and some units in 1996, air conditioning system for the main court room, and 36 individual window air conditioning units for the offices. The overall system is in fair to poor condition and is due for an upgrade.
- The heating steam is generated by a gas-fired Burnham low pressure boiler. The Burnham V-9a/V-11 boiler was installed in 1996. Boiler appears to be in fair condition.



Boiler

- The heating steam is distributed throughout the building in steel piping. Piping is insulated and was reported to be in fair condition. The piping is not easily accessible for maintenance.

- Offices are conditioned by window air conditioning units and cabinet unit heaters. The courtroom is served by a gas-fired rooftop unit.



Cabinet Unit Heaters



Indoor Air Handling Unit



Condensing units for Indoor Unit



Window Air Conditioning Unit

Recommendation: Install a new heating and cooling system for the entire building. The proposed system would be a hydronic type system with hot water for heating and chilled

water for cooling. A central boiler unit would generate the hot water and a air cooled chiller unit would generate the chilled water. Cabinet type units similar to the existing units would be used in the individual spaces. The large volume spaces such as the courtroom will be served by air handling units.

Cost options:

1. Upgrade boilers, heating distribution system, and terminal units without adding the cooling portion: \$380,000
2. Replace the courtroom air handling unit: \$120,000

Ventilation

- The building except the courtroom has natural ventilation. The courtroom ventilation is ventilated through the air handling unit.

Recommendation: Install a new system that meets the current ventilation Code requirements. The proposed system for the general office areas is a high velocity air distribution system which uses small pipe system to introduce air into the individual spaces. The courtrooms would be ventilated through the system air handling units.

Cost options:

1. Install recommended system: \$100,000

Air Conditioning

- The majority of the building is heating. The Courtroom has a dedicated air handler for cooling and heating with supplemental cabinet unit heaters, and the offices have window units for cooling.

Recommendation: Install a central AC system for the entire building as described above.

Cost options:

1. Add mechanical cooling – 2 pipe distribution system: \$125,000
2. Add mechanical cooling – 4 pipe distribution system: \$250,000

Automatic Temperature Control

- The building has individual heating thermostat control.



Thermostat

Recommendation: Upgrade to a central energy management system. This will allow the County to monitor and control overall energy use of the building.

Cost options:

1. Install recommended system: \$100,000

Plumbing

Plumbing Fixtures

- Gang toilet area plumbing fixtures include:
 - Floor-mounted water closets with manual flush valves.



Floor Mounted Water Closet – Manual Flush Valve

- Floor urinals with manual flush valves.
- Wall urinal with manual flush valves.



Wall-mounted Urinals and Floor Urinals – Manual Flush Valves

- Wall-mounted lavatories with a variety of faucets.



Wall Mounted Lavatories with Standard Faucets

- Wall mounted water coolers.



Wall Mounted Water Cooler

- The fixtures have reached their projected life.
- Flow rates do not meet current Code requirements.

Recommendation:

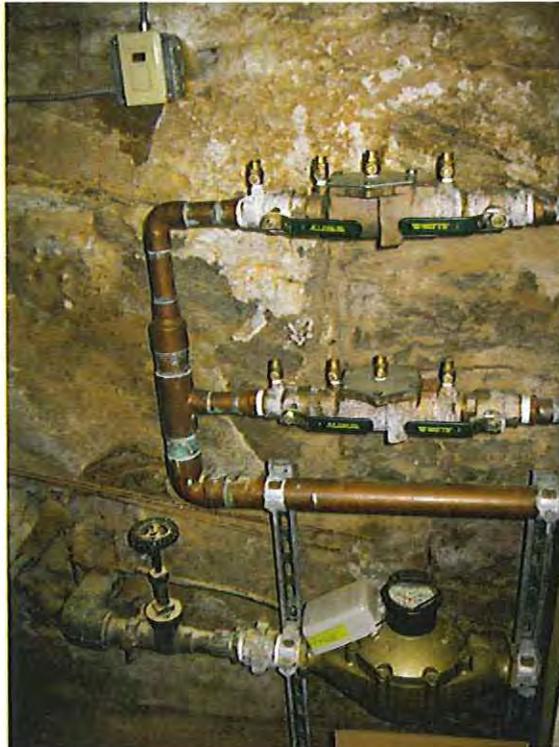
- Replace fixtures and flush valves to meet current Code requirements.
- Provide more ADA compliant fixtures.

Cost options:

1. Install recommended system: \$3,000 per fixture.

Domestic Water System

- Domestic water is distributed throughout the building in copper piping. It was reported to be in fair condition. Piping accessibility is limited.
- The water service enters the building in the equipment room.



Water Service

Recommendation: Upgrade the existing piping system to accommodate new fixtures. Replace the piping to a more accessible location for future maintenance.

Cost options:

1. Reuse existing piping and upgrade for new fixture locations: \$10,000
2. Reroute piping to a more accessible location: \$50,000

Hot Water Generating System

- Domestic hot water is generated by a storage type gas water heater manufactured by Rheem. The water heater was installed in 2009 and is in good condition.



Water Heater

Recommendation: Maintain and reuse the existing heater. Provide mixing valves at fixtures to prevent scalding.

Cost options:

1. Install recommended system: Included in per fixture cost above.

Sanitary Sewer System

- The waste piping under the original part of the building is cast iron.
- The venting system does not meet current Code requirements.

Recommendation:

- Scope the underground drain system to determine if there are any areas of damage to be repaired.
- Upgrade the venting system to meet current Code requirements.

Cost options:

1. Perform pipe testing: \$10,000.
2. Upgrade venting system: Included in per fixture cost above.

Rainwater System

- The roof is drained by roof drains with external downspouts that spill out onto the surrounding ground. They were reported to be in fair condition. The water is conveyed through PVC piping and metal downspouts which are in fair condition.

Recommendation: Tie rain water system underground into city storm drainage to avoid rain build up around the building.

Cost options:

1. Install recommended system: \$30,000.

Natural Gas

- Natural gas is provided to the building. Gas serves the boilers, water heater, and rooftop unit.
- Gas is distributed in welded steel piping.
- Exposed Gas piping is rusting; otherwise, the system appeared to be in good condition.

Recommendation: None.

Sprinkler System

- The building is not protected by an automatic sprinkler system.

Recommendation: Consider installation of a system as part of a renovation project.

Cost options:

1. Install recommended system: \$200,000.

Electrical

Electric Service, Distribution, and Branch Circuiting

- The building is served at 600 Amps, 240Y/120V, 3Phase, 4Wire. The main switch board is manufactured by Federal Pacific. The board is no longer manufactured and parts are limited.
- The panel boards are Federal Pacific as well. The panels are no longer manufactured and parts are limited.
- A majority of the building has surface raceway run throughout.



Electric Service

Recommendation: Replace existing main switch board and panels with new.

Cost options:

1. Replace main switchboard to match existing capacity: \$25,000.
2. Replace individual panelboards: \$10,000 per panel.

Emergency Generator

- The generator is manufactured by Onan and is serviced by natural gas. The generator is located in the basement and is 20 plus years old. The unit feeds only egress lighting.



Emergency Generator

Recommendation: Replace existing emergency with new exterior mount unit. Connect emergency lighting, security system, telephone system and data networking system to new generator.

Cost options:

1. Install recommended system: \$50,000.

Phone

- The phone system is manufactured by NEC. The phone system headend is located in the basement. This system is in good working condition with no reported issues.



Telephone system

Recommendation: Extend existing system to accommodate architectural renovations and additions.

Cost options:

1. Install recommended system: Included in building upgrade costs.

Lighting

- The majority of the light fixtures are 2x4 and 1x4 fluorescents. These fixtures are in poor condition and lens are yellowed and cracked.
- Courtroom and main corridor has specialty decorative fixtures that need to be replaced and updated.
- The fixtures are all controlled via manual switches. There are no automatic shut off controls on any of the lighting fixtures.



Lighting

Recommendation: Replace all fixtures with energy efficient fluorescent fixtures. Add occupancy sensor switches to all areas that are required to meet current energy codes. This will provide a significant energy savings for the facility.

Cost options:

1. Replace lighting fixtures: Average \$200 per fixture or entire building \$100,000.
2. Upgrade lighting control: Average \$500 per room or entire building \$25,000.

Data Network

- The existing data system consists of a hard wired system. This system is in good working condition with no reported issues. Technology upgrades including the addition of more wireless capabilities was requested.
- The existing MDF is located on the third floor in a room with limited air conditioning.



Data Network

Recommendation: Expand infrastructure to include more wireless connectivity and technology upgrades. A secure room with individual upgraded to the air conditioning system.

Cost options:

1. Install recommended system: \$50,000.

Fire Alarm

- The existing fire alarm system is a Honeywell MS-9200UDLS panel. This panel is in good working condition. The devices throughout the building are placed adequately however some devices may be required to meet current codes.

Recommendation: Upgrade necessary devices as part of the overall building renovation.

Cost options:

1. Install recommended system: Included in building upgrade costs.



Fire Alarm System Panel

Recommendation: Replace all non code compliant devices and add devices where required by current codes.

Security Systems

- The CCTV system is in good working condition with no reported issues.
- The existing metal detector and scanner is in good working condition.



Security System Reader

Recommendation: Replace the intrusion detection system with new or repair the existing system and purchase an extended warranty/maintenance plan.

CODES ANALYSIS

PROJECT NAME:	CLARION COUNTY COURTHOUSE
PROJECT NO:	2403
PROJECT LOCATION:	Clarion Borough, Clarion County, PA
DESIGN CODES:	Applicable only to areas undergoing alteration or repair PA Uniform Construction Code International Existing Building Code / 2009 (IEBC)-Chapter 3 International Building Code / 2009 (IBC) BOCA National Fire Code / 1993 (Borough Code)
CONSTRUCTION CLASSIFICATION:	IIIB noncombustible/combustible
OCCUPANCY CLASSIFICATIONS:	Mixed / Nonseparated Uses of: B (Business) and A-3 (Assembly)
MAXIMUM ALLOWABLE HEIGHT:	Most restrictive use = A-3 2 Stories / 55 feet max. Applicable only for new construction / addition
MAXIMUM ALLOWABLE BUILDING AREA:	Most restrictive use = A-3 Tabular Area = 9,500 sq. ft. (A-3 / IIIB) Area increase for 100% open perimeter = 7,125 sq. ft. 16,625 sq. ft. per floor 33,250 sq. ft. total area Applicable only for new construction / addition
FIRE RESISTANCE RATINGS:	
Exterior Walls	2-Hour – noncombustible materials
Exterior Structural Members	2-Hour within exterior wall lines – noncombustible materials
Interior Structural Members	0-Hour – combustible or noncombustible materials
Floors	0-Hour – combustible or noncombustible materials
Roof	0-Hour – combustible or noncombustible materials
Support of Fire Rated Assembly	Not less than rating of assembly supported
Vertical Openings	1-Hour (Connecting up to 3 Stories)
Vertical Openings	2-Hour (Connecting more than 3 Stories)
Elevator Hoistway & Equipment	1-Hour (Up to 3 Stories)
Elevator Hoistway & Equipment	2-Hour (More than 3 Stories)
Exit Access Corridors	1-Hour
Boiler or Furnace Room	1-Hour or automatic fire-extinguishing system
FIRE ALARM SYSTEM:	Required in altered areas Existing system maintained in areas not altered
AUTOMATIC FIRE DETECTION:	Not applicable
AUTOMATIC SPRINKLER SYSTEM:	Not applicable for existing building if: No increase to building area proposed, No increase in fire area proposed, No change of use proposed
PORTABLE FIRE EXTINGUISHERS:	Required – all altered areas 2A: C rated extinguisher 6,000 sq. ft.-75 travel distance max. 'K' rated extinguisher within 30 feet of cooking equipment
NUMBER OF EXITS REQUIRED:	2 from each floor having not more than 500 occupants

MINIMUM STAIR WIDTH:	Stair serving 50 or more occupants - 44 inches Stair serving 49 or less occupants - 36 inches
MINIMUM CORRIDOR WIDTH:	Corridor serving 50 or more occupants - 44 inches Corridor serving 49 or less occupants - 36 inches
EMERGENCY LIGHTING & EXIT SIGNS:	Stairs, lobbies, corridors, and spaces serving an occupant load of more than 49 persons and/or having a common path of travel distance of more than 75 feet
DEAD END CORRIDORS:	20 feet max.
COMMON PATH OF TRAVEL:	30 feet for fixed seating in areas with 50 or more occupants 75 feet max. from other areas
TRAVEL DISTANCE TO AN EXIT:	200 feet max.
INTERIOR WALL & CEILING FINISHES:	
Exit Stairs	Class 'A'
Corridors	Class 'A'
Lobby	Class 'B'
Other Rooms	Class 'C'
INTERIOR FLOOR FINISHES:	
Exit Stairs	Class 'II'
Corridors	Class 'II'
Lobby	Class 'II'
Other Rooms	Class DOC FF-1 "pill test"
ACCESSIBILITY:	Design Standard - ICC/ANSI A117.1-2003
Entrance	Required
Means of Egress	Not applicable, but not less than currently provided
Area of Refuge	Not applicable, unless currently provided
Altered Spaces	Required
Plumbing Fixtures	Required for toilet rooms and drinking fountains serving altered spaces and new fixtures
Required Accessible Routes	Exterior - to the accessible entrance(s) Between accessible entrance(s) and altered spaces Between altered areas and accessible plumbing fixtures

CLARION COUNTY COURT HOUSE CODE ANALYSIS - OPTION 1

8/9/2011 CRA #2403

Per IBC 2009 Occupant Load Table 1004.1.1 and IBC 2009 Min. Plumbing Fixture Table 2902.1

Room name	Room Number(s)	Area (SF)	SF Per Occupant IBC 1004.1.1	Total Occupancy		Water Closets		Lavatory		Drinking Foun.
				Plumbing	Egress	Male	Female	Male	Female	
GROUND FLOOR LEVEL:										
BUSINESS AREAS		5265	100	53	53	1.05	1.05	0.66	0.66	0.53
CLASSROOM		-478	100	-5	-5	0.00	0.00	0.00	0.00	0.00
CLASSROOM		478	20	24	24	0.00	0.00	0.00	0.00	0.00
Total First Floor Occupant Load				53	72					
Required Egress Door Widths at 0.2 inches per person =				14.354	inches					
FIRST FLOOR:										
BUSINESS AREAS - NORTH		2600	100	26	26	0.52	0.52	0.33	0.33	0.26
BUSINESS AREAS - NORTH - MEZZ		400	100	4	4	0.08	0.08	0.05	0.05	0.04
BUSINESS AREAS - SOUTH		2600	100	26	26	0.52	0.52	0.33	0.33	0.26
Total First Floor Occupant Load				56	56					
Required Egress Door Widths at 0.2 inches per person =				11.2	inches					
SECOND FLOOR:										
JURY DELIB.	ASSEMBLY	320	15	21	21	0.09	0.16	0.05	0.05	0.04
AUDITORS / JURY COMM.	BUSINESS	334	100	3	3	0.07	0.07	0.04	0.04	0.03
ADMIN	BUSINESS	286	100	3	3	0.06	0.06	0.04	0.04	0.03
JUDGE'S CHAMBERS	BUSINESS	276	100	3	3	0.06	0.06	0.03	0.03	0.03
COURT ADMIN	BUSINESS	188	100	2	2	0.04	0.04	0.02	0.02	0.02
CONF.	ASSEMBLY	126	15	8	8	0.03	0.06	0.02	0.02	0.02
CONF.	ASSEMBLY	126	15	8	8	0.03	0.06	0.02	0.02	0.02
COURTROOM #1	ASSEMBLY	2824	seating	276	276	1.10	2.12	0.69	0.69	0.55
Total First Floor Occupant Load				325	325					
Required Egress Door Widths at 0.2 inches per person =				64.99	inches					
Required Egress Stair Widths at 0.3 inches per person =				97.49	inches					
THIRD FLOOR:										
JURY DELIB.	ASSEMBLY	332	15	22	22	0.09	0.17	0.06	0.06	0.04
CONF.	ASSEMBLY	192	15	0	13	0.00	0.00	0.00	0.00	0.00
HOLD	ASSEMBLY	58		1	1	0.00	0.01	0.00	0.00	0.00
ADMIN	BUSINESS	352	100	4	4	0.07	0.07	0.04	0.04	0.04
JUDGE'S CHAMBERS	BUSINESS	274	100	3	3	0.05	0.05	0.03	0.03	0.03
COURTROOM #2	ASSEMBLY	810	15	54	54	0.22	0.42	0.14	0.14	0.11
LAW LIB. / SAFE COMP.	ASSEMBLY	214	15	0	14	0.00	0.00	0.00	0.00	0.00
I.T.	BUSINESS	214	100	2	2	0.04	0.04	0.03	0.03	0.02
Total First Floor Occupant Load				86	113					
Required Egress Door Widths at 0.2 inches per person =				22.52	inches					
Required Egress Stair Widths at 0.3 inches per person =				33.78	inches					
				Plumbing	Egress					
TOTAL OCCUPANT LOAD				519	565					
BUSINESS OCCUPANT LOAD				128						
ASSEMBLY OCCUPANT LOAD				391						
				519		4.12	5.57	2.58	2.58	2.06
						Water Closets		Lavatory		Drinking
						Male	Female	Male	Female	Fountains
Total Required Plumbing Fixtures						5	6	3	3	3
Plumbing Fixtures provided within 500 feet and not more than one story above or below the required spaces (IPC 403.6)										
						Water Closets		Lavatory		Drinking
						Male	Female	Male	Female	Foun.
3rd FLOOR TOILET JUDGE						0.05	0.05	0.03	0.03	
3rd FLOOR TOILET STAFF						0.07	0.07	0.04	0.04	
3rd FLOOR TOILET JURY						0.09	0.17	0.06	0.06	
2nd FLOOR TOILET JUDGE						0.06	0.06	0.03	0.03	
2nd FLOOR TOILET STAFF						0.16	0.16	0.10	0.10	
2nd FLOOR TOILET FAMILY										
2nd FLOOR TOILET JURY						0.09	0.16	0.05	0.05	
2nd FLOOR MEN'S						4		3		
2nd FLOOR WOMEN'S							4		3	
2nd FLOOR CORRIDOR										2
GROUND TOILET LOBBY						0	0	0	0	
GROUND MEN'S						6		3		
GROUND WOMEN'S							7		4	
GROUND ELEV LOBBY										2
						Water Closets		Lavatory		Drinking
						Male	Female	Male	Female	Foun.
Total Provided Plumbing Fixtures						11	12	6	7	4
Total Required Plumbing Fixtures						5	6	3	3	3
Excess Fixtures / Deficit =						6	6	3	4	1

CLARION COUNTY COURTHOUSE - OPTION 1							2403		
FUNCTION AND AREA SUMMARY									
CRABTREE, ROHRBAUGH, & ASSOCIATES							8/9/2011		

DEPARTMENT SUMMARY									
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Dpt. Class.	Department	Staff	Existing Area	Future Area	Program Area	% Increase	Net Area Required	
1	Courts	12	5,455	2,747	8,202	50%	8,202	
2	Sherriff	20	909	632	1,541	70%	1,541	
3	Adult and Juvenile Probation	15	2,543	690	3,233	27%	3,233	
4	Prothonotary	5	1,118	-	1,118	0%	1,118	
5	Register and Recorder	3	1,096	-	1,096	0%	1,096	
6	County Buildings	3	787	(115)	672	-15%	672	
7	Building Support	0	5,096	(1,491)	3,605	-29%	3,605	
8	Assessment	5	876	-	876	0%	876	
9	Information Technology	2	215	-	215	0%	215	
TOTALS		65	18095	2463	20558	103%	20558	
GROSSING FACTOR							1.75	
GROSS FLOOR AREA								36,060

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

	DEPT.	Juvenile and Adult Probation				
		Jayne Smail				

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2								
3	1	Director	1	Office	154		196	196
4	7	Adult Probation Officer	7	Office	651		103	721
5	4	Juvenile Probation Officer	4	Office	372		94	376
6	1	Deputy Juvenile Probation Officer	1	Office	93		90	90
7	2	Administrative Assistant	2	Workstation	128		226	452
8			1	Classroom	460		484	484
9			1	Conference	235		0	0
10			1	Evidence Stor	20		42	42
11			1	Storage	60		56	56
12			1	Unisex Toilet	96		62	62
13			1	File Room	60		84	84
14			1	Kitchenette	84		202	202
15			1	Data Closet	20		0	0
16			1	Waiting Area	110		218	218
17								
18								
19		Future Growth						
20	1	Administrative Assistant	1	Workstation			250	250
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33								
34								
35								
36								
37								
38								
39								
42	DEPARTMENT TOTAL							
43		EXISTING	15		2543			
44		PROPOSED	1					3233
45		TOTAL	16					3233

CLARION COUNTY COURTHOUSE							2403	
FUNCTION AND AREA SUMMARY								
CRABTREE, ROHRBAUGH, & ASSOCIATES							8/9/2011	
DEPT. Courts								
Judge James G. Arner, Tammy Slike, Ralph Montana								
1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2		Second Floor						
3	1	President Judge's Chambers	1	Office	320		276	276
4			1	Toilet Room			42	42
5	1	Court Administrators Office	1	Office	234		188	188
6		Courtroom	1	Court Rm No. 1	2858		2858	2858
7			1	Courtroom Stor			36	36
8	1	Administrative	1	Workstations	159		95	95
9	1	Deputy Court Administrator	1	Workstations	155		95	95
10	1	Deputy Court Administrator	1	Workstations	144		95	95
11	1	Auditors	1	Office			111	111
12	2	Jury Commissioners	1	Office			222	222
13			1	Conference Rm	213		126	126
14			1	Conference Rm	213		126	126
15		Jury Deliberation Room	1	Conference Rm			320	320
16			1	Toilet Room			50	50
17			1	Mens Staff Toilet			54	54
18			1	Womens Staff Toilet			56	56
19			1	Womens Restroom			198	198
20			1	Men's Restroom			198	198
21			1	Storage			48	48
22			1	Kitchenette			12	12
23			1	Lobby			607	607
24		Third Floor						
25	1	Judge's Chambers	1	Office	272		274	274
26			1	Toilet Room			60	60
27	1	Administrative Assistant	2	Workstation			70	140
28		Courtroom	1	Courtroom No.2	672		810	810
29		Jury Deliberation Room	1	Conference Rm			332	332
30			1	Toilet Room			46	46
31		Law Library / SAFE Computer	1	Conference Rm			215	215
32	2	IT Office	1	Office	215		215	215
33	1	Court Reporter	1	Workstation			70	70
34	1	Law Clerk	1	Workstation			70	70
35			1	Womens Staff Toilet			52	52
36			1	Holding Room			58	58
37			1	Copy Work Area			70	70
38			1	Conference Rm			192	192
39								
42	DEPARTMENT TOTAL							
43		EXISTING			5455			
44		PROPOSED	14					8417
45		TOTAL	14					8417

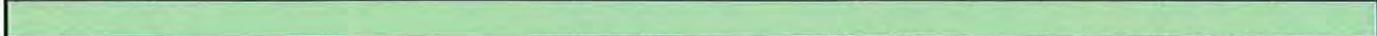
CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

DEPT.	Sheriff
	Rex Munsee

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2								
3	1	Sheriff	1	Office			215	215
4	1	Chief Deputy	1	Office			132	132
5	5	Deputy Officer - Full Time	1	Office			140	140
6	6	Deputy Officer - Part Time	6	Workstation			58	348
7	1	Sergeant	1	Office			124	124
8	3	Administrative Assistant	3	Workstation			126	126
9		Evidence Storage	1	Room			36	36
10		Gun Locker Room	1				92	92
11		Locker Room	1				328	328
12								
13								
14								
15								
16								
17								
18								
19		Future Growth						
20								
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33								
34								
35								
36								
37								
38								
39								
42	DEPARTMENT TOTAL							
43		EXISTING	17			0		
44		PROPOSED						1541
45		TOTAL	17					1541

CLARION COUNTY COURTHOUSE				2403
FUNCTION AND AREA SUMMARY				
CRABTREE, ROHRBAUGH, & ASSOCIATES				8/9/2011

	DEPT. Prothonotary						
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1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2								
3	5	Prothonotary	3	Office	1118		1118	1118
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19		Future Growth						
20								
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33								
34								
35								
36								
37								
38								
39								

42	DEPARTMENT TOTAL							
43		EXISTING	5			0		
44		PROPOSED					1118	
45		TOTAL	5				1118	

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

	DEPT. County Buildings								
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1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF	
2									
3	3	County Buildings			787		672	672	
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19		Future Growth							
20									
21									
22									
23									
24									
25									
26									
27									
28									
29									
30									
31									
32									
33									
34									
35									
36									
37									
38									
39									
42	DEPARTMENT TOTAL								
43		EXISTING	3				0		
44		PROPOSED						672	
45		TOTAL	3					672	

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

	DEPT.	BUILDING SUPPORT					
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1	2	Space	No.	Description	Existing Area	Type	Program Area	Subtotal SF
3		Ground Floor						
4		Lobby			1551		538	538
5		Mens Restroom			314		218	218
6		Womens Restroom			262		278	278
7		Boiler Room			480		492	492
8		Janitor			29		15	15
9		Elevator Equipment			116		118	118
10		Meter Room			83		84	84
11								
12		First Floor						
13		Lobby			324		324	324
14		Reception / Switchboard			140		0	0
15								
16								
17		Second Floor						
18		Main Lobby			607		446	446
19		Elevator Lobby			157		140	140
20		Mens Restroom			144		198	198
21		Womens Restroom			20		198	198
22								
23		Third Floor Plan						
24		Public Lobby			607		446	446
25		Elevator Lobby			172		110	110
26		Mens Restroom			45		0	0
27		Womens Restroom			45		0	0
28								
29								
30								
31								
32								
33								
34								
35		Subtotal Existing			5096			
36		Subtotal Future					3605	
37		TOTAL			5096		3605	3605

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

DEPT.	Assessment						
--------------	-------------------	--	--	--	--	--	--

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2								
3	5	Assessment			876		876	876
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19		Future Growth						
20								
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33								
34								
35								
36								
37								
38								
39								
42	DEPARTMENT TOTAL							
43		EXISTING	5			0		
44		PROPOSED					876	
45		TOTAL	5				876	

CLARION COUNTY COURTHOUSE - OPTION 3A							2403		
FUNCTION AND AREA SUMMARY									
CRABTREE, ROHRBAUGH, & ASSOCIATES							8/9/2011		
DEPARTMENT SUMMARY									
Dpt. Class.	Department			Staff	Existing Area	Future Area	Program Area	% Increase	Net Area Required
1	Courts			12	5,455	2,854	8,309	52%	8,309
2	Sherriff			20	909	632	1,541	70%	1,541
3	Adult and Juvenile Probation			15	2,543	934	3,477	37%	3,477
4	Prothonotary			5	1,118	-	1,118	0%	1,118
5	Register and Recorder			3	1,096	-	1,096	0%	1,096
6	County Buildings			3	787	(115)	672	-15%	672
7	Building Support			0	5,096	(1,744)	3,352	-34%	3,352
8	Assessment			5	876	-	876	0%	876
9	Information Technology			2	215	-	215	0%	215
TOTALS				65	18095	2561	20656	110%	20656
GROSSING FACTOR									1.75
GROSS FLOOR AREA									36,060

CLARION COUNTY COURTHOUSE										2403
FUNCTION AND AREA SUMMARY										
CRABTREE, ROHRBAUGH, & ASSOCIATES										
									8/9/2011	

DEPT.	Juvenile and Adult Probation
	Jayne Smail

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF	
2									
3	1	Director	1	Office	154		196	196	
4	7	Adult Probation Officer	7	Office	651		105	735	
5	4	Juvenile Probation Officer	4	Office	372		102	408	
6	1	Deputy Juvenile Probation Officer	1	Office	93		90	90	
7	2	Administrative Assistant	2	Workstation	128		210	420	
8			1	Classroom	460		472	472	
9			1	Conference	235		198	198	
10			1	Evidence Stor	20		84	84	
11			1	Storage	60		56	56	
12			1	Unisex Toilet	96		56	56	
13			1	File Room	60		110	110	
14			1	Kitchenette	84		104	104	
15			1	Data Closet	20		0	0	
16			1	Waiting Area	110		300	300	
17									
18									
19		Future Growth							
20	1	Administrative Assistant	1	Workstation			248	248	
21									
22									
23									
24									
25									
26									
27									
28									
29									
30									
31									
32									
33									
34									
35									
36									
37									
38									
39									
42	DEPARTMENT TOTAL								
43		EXISTING	15		2543				
44		PROPOSED	1					3477	
45		TOTAL	16					3477	

CLARION COUNTY COURTHOUSE							2403
FUNCTION AND AREA SUMMARY							
CRABTREE, ROHRBAUGH, & ASSOCIATES							8/9/2011

DEPT.	Courts						
	Judge James G. Arner, Tammy Slike, Ralph Montana						

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2		Second Floor						
3	1	President Judge's Chambers	1	Office	320		318	318
4			1	Toilet Room			56	56
5	1	Court Administrators Office	1	Office	234		262	262
6		Courtroom	1	Court Rm No. 1	2858		2858	2858
7			1	Courtroom Stor			36	36
8	1	Administrative	1	Workstations	159		63	95
9	1	Deputy Court Administrator	1	Workstations	155		63	63
10	1	Deputy Court Administrator	1	Workstations	144		63	63
11	1	Administrative Assistant	2	Workstation			63	126
12	1	Court Reporter	1	Workstation			63	63
13	1	Law Clerk	1	Workstation			63	63
14			1	Copy Work Area			63	63
15	1	Auditors	1	Office			125	125
16	2	Jury Commissioners	1	Office			250	250
17			1	Conference Rm	213		215	215
18			1	Conference Rm	213		215	215
19			1	Mens Staff Toilet			46	46
20			1	Womens Staff Toilet			54	54
21			1	Womens Restroom			174	174
22			1	Men's Restroom			144	144
23			1	Storage			20	20
24			1	Kitchenette			68	68
25			1	Lobby			446	446
26		Third Floor						
27	1	Judge's Chambers	1	Office	272		270	270
28			1	Toilet Room			56	56
29		Courtroom	1	Courtroom No.2	672		796	796
30		Jury Deliberation Room	1	Conference Rm			326	326
31		Jury Deliberation Room	1	Conference Rm			326	326
32			1	Toilet Room			44	44
33			1	Toilet Room			48	48
34		Law Library / SAFE Computer	1	Conference Rm			215	215
35	2	IT Office	1	Office	215		215	215
36			1	Womens Staff Toilet			0	0
37			1	Holding Room			0	0
38			1	Mediation Rm			190	190
39								
40	DEPARTMENT TOTAL							
41		EXISTING			5455			
42		PROPOSED	14					8309
43		TOTAL	14					8309

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

	DEPT. Register & Recorder						
--	--------------------------------------	--	--	--	--	--	--

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF
2								
3	3	Register & Recorder	1	Office	1096		1096	1096
4								
5								
6								
7								
8								
9								
10								
11								
12								
13								
14								
15								
16								
17								
18								
19		Future Growth						
20								
21								
22								
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33								
34								
35								
36								
37								
38								
39								
42	DEPARTMENT TOTAL							
43		EXISTING	3			0		
44		PROPOSED						1096
45		TOTAL	3					1096

CLARION COUNTY COURTHOUSE											2403	
FUNCTION AND AREA SUMMARY												
CRABTREE, ROHRBAUGH, & ASSOCIATES												8/9/2011
DEPT. Prothonotary												
1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF				
2												
3	5	Prothonotary	3	Office	1118		1118	1118				
4												
5												
6												
7												
8												
9												
10												
11												
12												
13												
14												
15												
16												
17												
18												
19		Future Growth										
20												
21												
22												
23												
24												
25												
26												
27												
28												
29												
30												
31												
32												
33												
34												
35												
36												
37												
38												
39												
42	DEPARTMENT TOTAL											
43		EXISTING	5				0					
44		PROPOSED							1118			
45		TOTAL	5						1118			

CLARION COUNTY COURTHOUSE					2403
FUNCTION AND AREA SUMMARY					
CRABTREE, ROHRBAUGH, & ASSOCIATES					8/9/2011

	DEPT. County Builidings								
--	--------------------------------	--	--	--	--	--	--	--	--

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF	
2									
3	3	County Buildings			787		672	672	
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19		Future Growth							
20									
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22									
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29									
30									
31									
32									
33									
34									
35									
36									
37									
38									
39									
42	DEPARTMENT TOTAL								
43		EXISTING	3			0			
44		PROPOSED						672	
45		TOTAL	3					672	

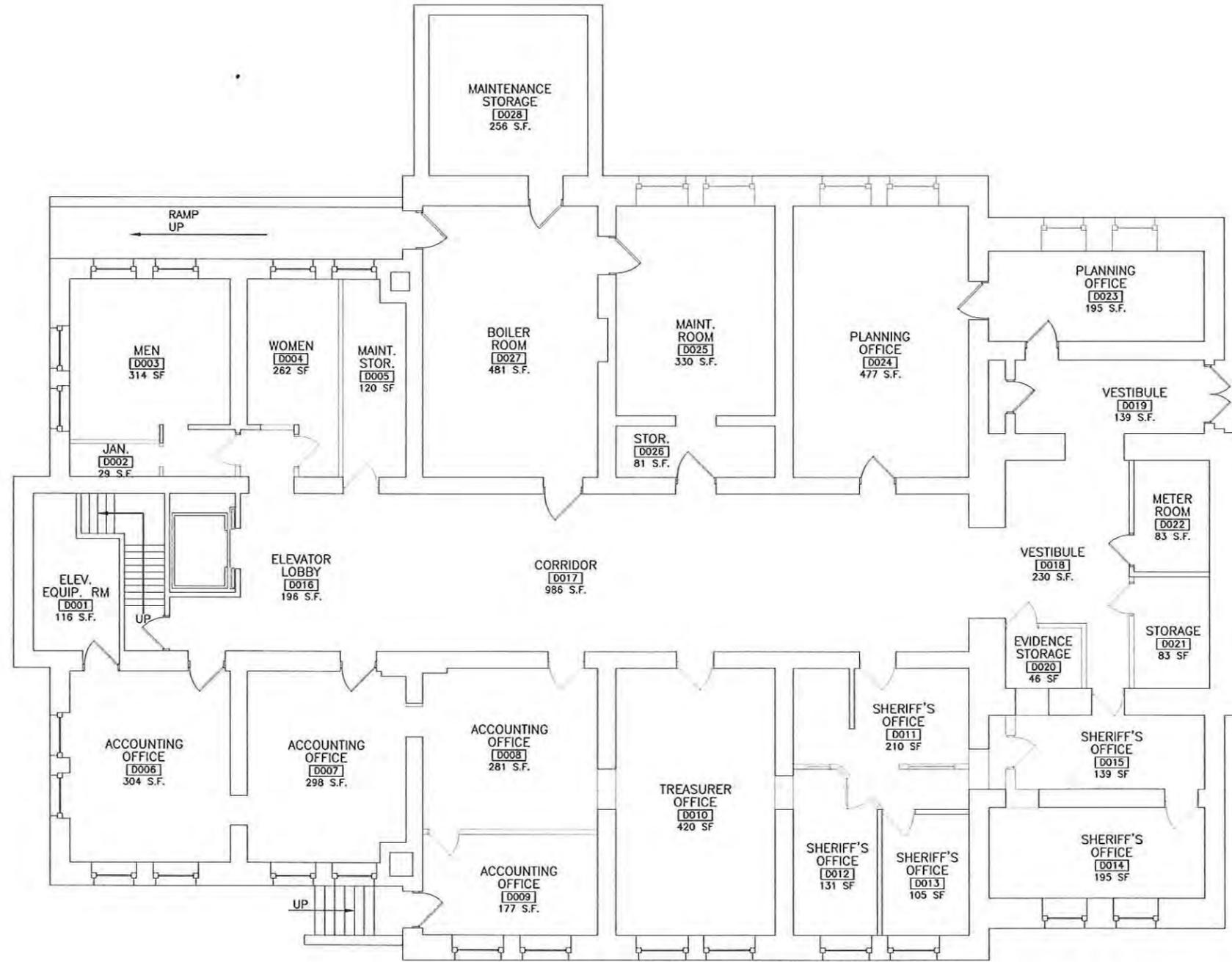
CLARION COUNTY COURTHOUSE							2403	
FUNCTION AND AREA SUMMARY								
CRABTREE, ROHRBAUGH, & ASSOCIATES							8/9/2011	
DEPT.	BUILDING SUPPORT							
1	Space	No.	Description	Existing Area	Type	Program Area	Subtotal SF	
2								
3	Ground Floor							
4	Lobby			1551		410	410	
5	Mens Restroom			314		172	172	
6	Womens Restroom			262		158	158	
7	Boiler Room			480		472	472	
8	Janitor			29		12	12	
9	Elevator Equipment			116		202	202	
10	Meter Room			83		84	84	
11								
12	First Floor							
13	Lobby			324		324	324	
14	Reception / Switchboard			140		0	0	
15								
16								
17	Second Floor							
18	Main Lobby			607		446	446	
19	Elevator Lobby			157		158	158	
20	Mens Restroom			144		144	144	
21	Womens Restroom			20		174	174	
22								
23	Third Floor Plan							
24	Public Lobby			607		446	446	
25	Elevator Lobby			172		150	150	
26	Mens Restroom			45		0	0	
27	Womens Restroom			45		0	0	
28								
29								
30								
31								
32								
33								
34								
35	Subtotal Existing			5096				
36	Subtotal Future					3352		
37	TOTAL			5096		3352	3352	

CLARION COUNTY COURTHOUSE									2403
FUNCTION AND AREA SUMMARY									
CRABTREE, ROHRBAUGH, & ASSOCIATES									
8/9/2011									

		DEPT. Assessment							
--	--	-------------------------	--	--	--	--	--	--	--

1	Staff	Position	No.	Space Description	Existing Area	Type	Program Area	Subtotal SF	
2									
3	5	Assessment			876		876	876	
4									
5									
6									
7									
8									
9									
10									
11									
12									
13									
14									
15									
16									
17									
18									
19		Future Growth							
20									
21									
22									
23									
24									
25									
26									
27									
28									
29									
30									
31									
32									
33									
34									
35									
36									
37									
38									
39									
42	DEPARTMENT TOTAL								
43		EXISTING	5				0		
44		PROPOSED						876	
45		TOTAL	5					876	

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1 EXISTING GROUND FLOOR
 D1.0 SCALE: 1/8" = 1'-0"

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KEY PLAN



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 MECHANICSBURG PA 17055
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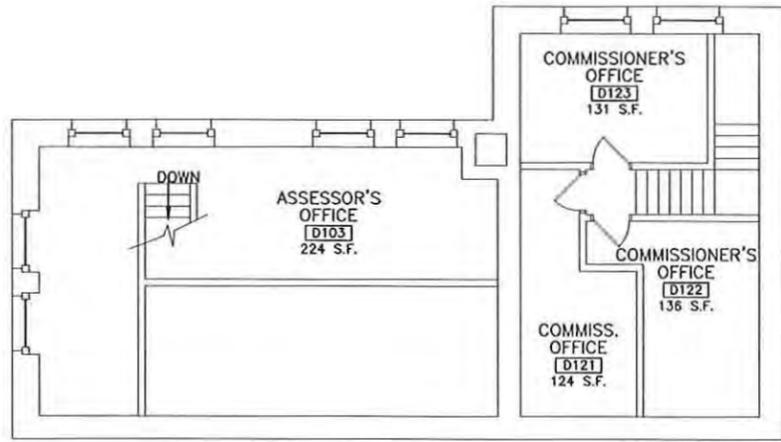
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RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214

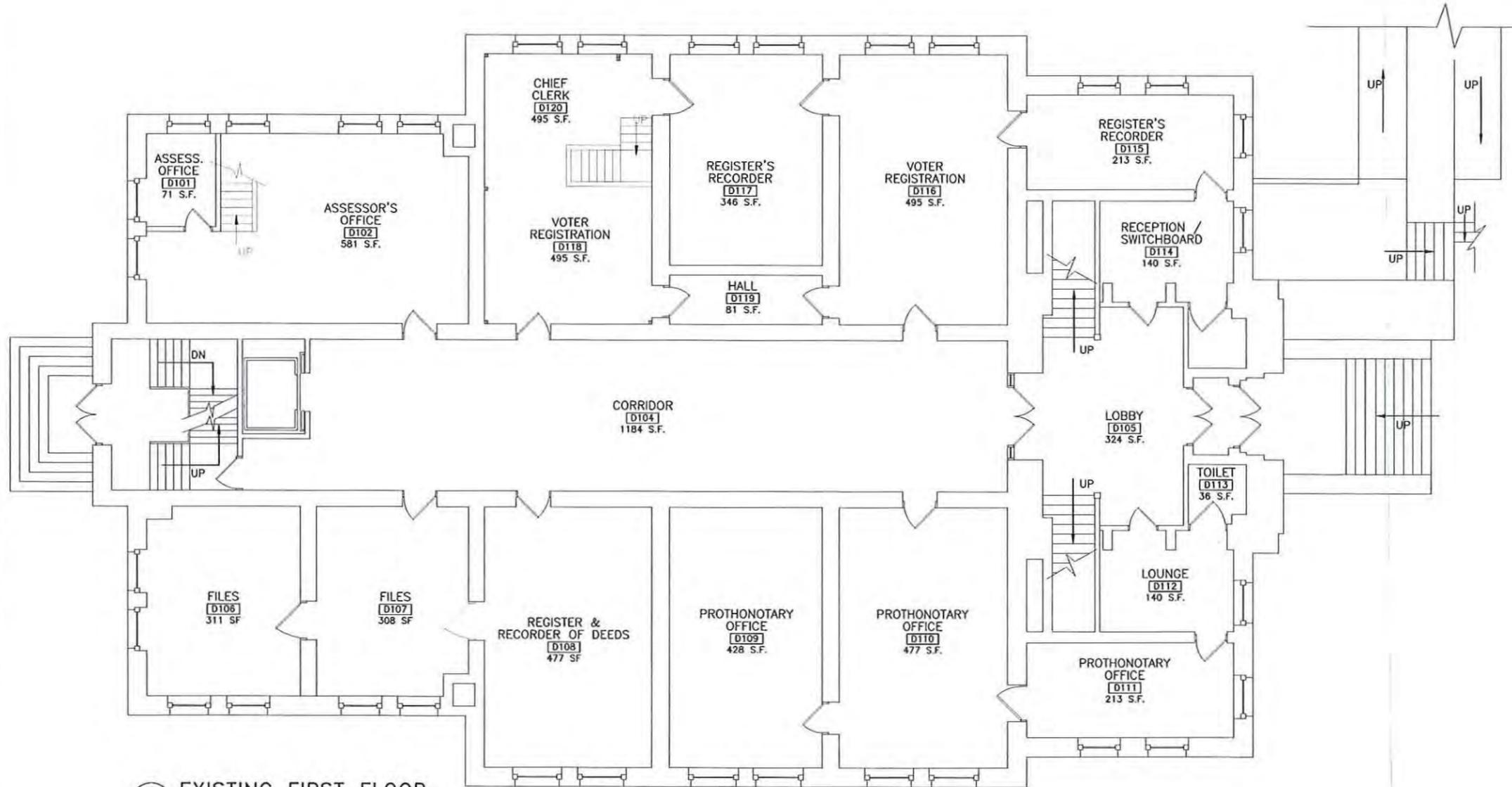
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EXISTING GROUND FLOOR
 PROJECT
 2403
 8.0
 DATE
 AUGUST 8, 2011

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1A EXISTING FIRST FLOOR MEZZANINE
A1.1 SCALE: 1/8" = 1'-0"



1 EXISTING FIRST FLOOR
A1.1 SCALE: 1/8" = 1'-0"

KEY PLAN



REVISIONS

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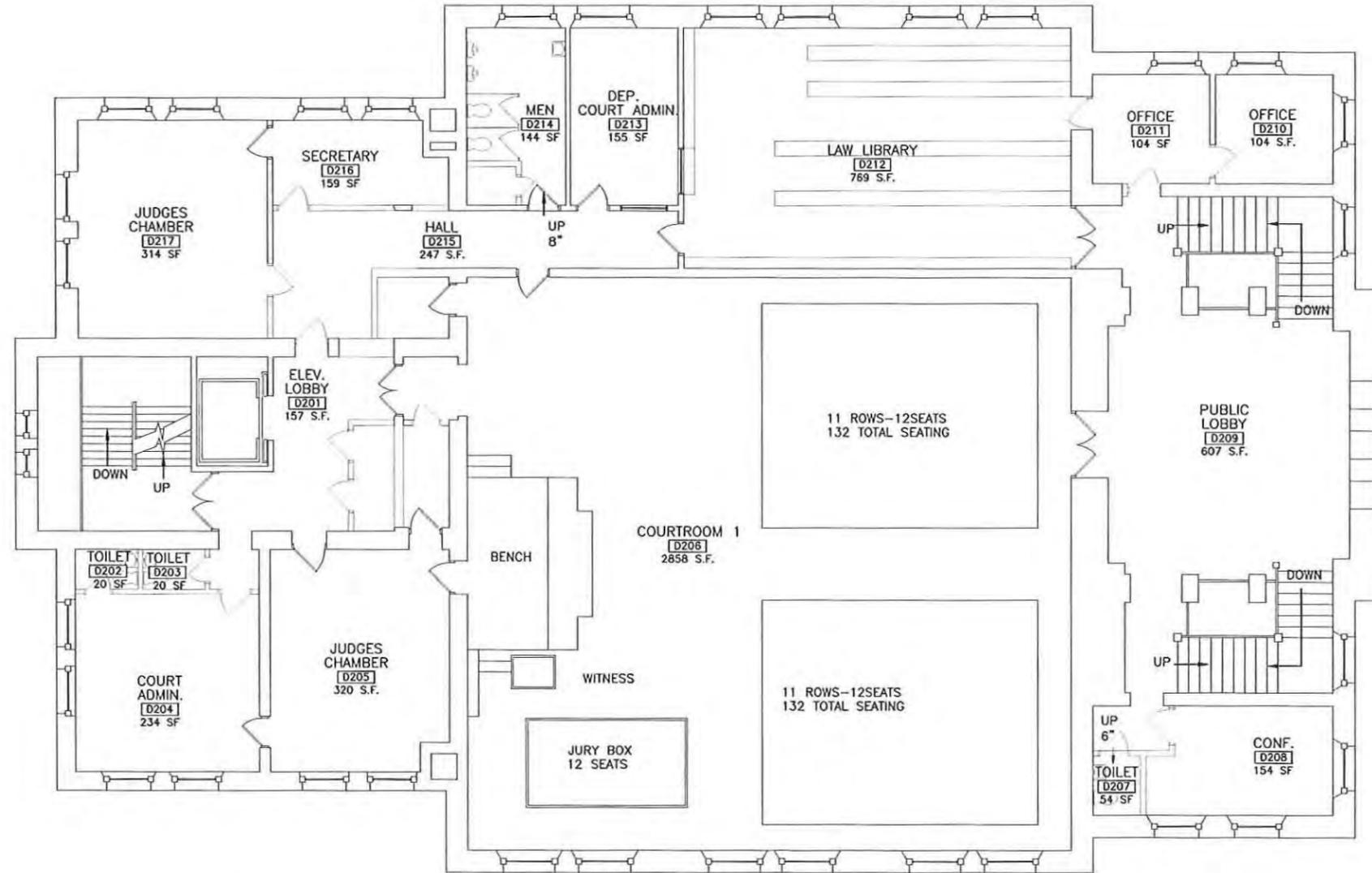
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RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214



EXISTING FIRST FLOOR	PROJECT 2403
DATE AUGUST 8, 2011	8.1

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1 EXISTING SECOND FLOOR
 D1.2 SCALE: 1/8" = 1'-0"

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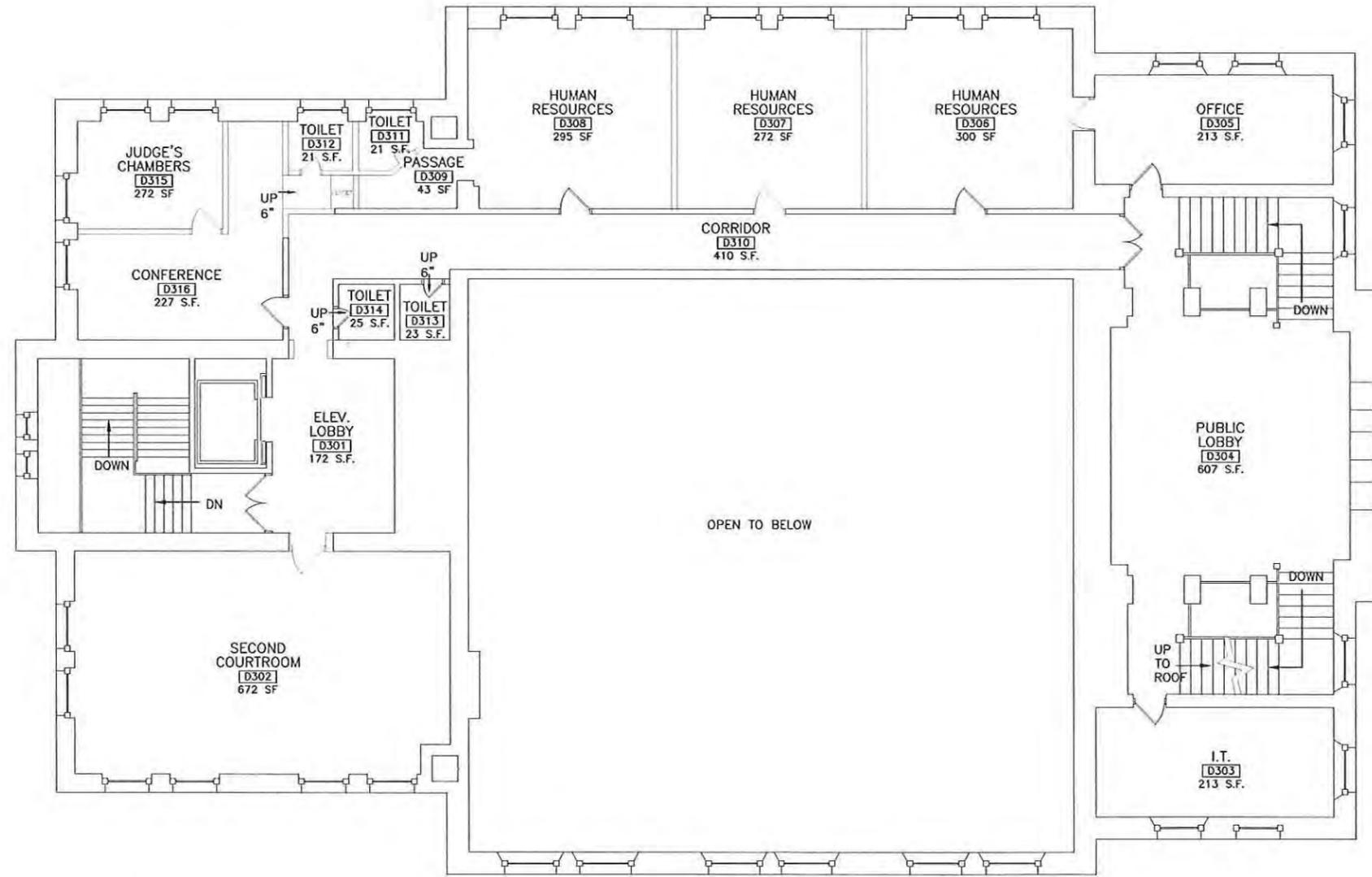
RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214



EXISTING SECOND FLOOR
 PLAN SCALE
 PLAN NO.
 DATE
 AUGUST 8, 2011

PROJECT
 2403
8.2

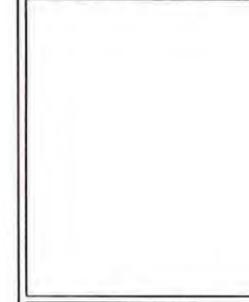
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1 EXISTING THIRD FLOOR
D1.3 SCALE: 1/8" = 1'-0"

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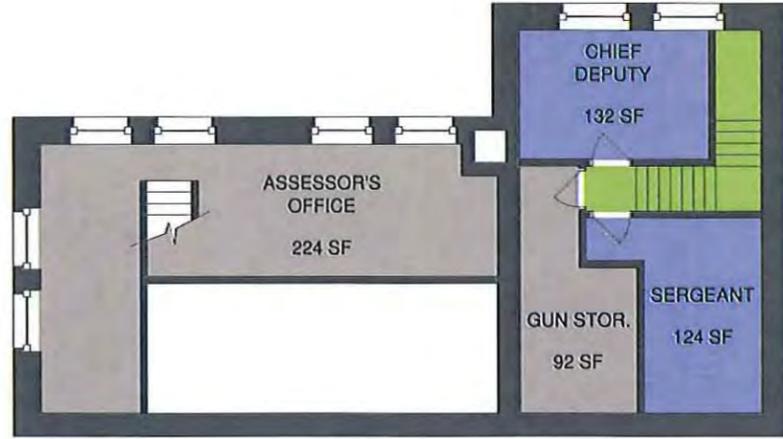
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RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214



EXISTING THIRD FLOOR
 PROJECT
 2403
 8.3
 DATE
 AUGUST 8, 2011

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1A 1ST FLOOR MEZZANINE - OPTION 1
AP01 1/8" = 1'-0"



I 1ST FLOOR - OPTION 1
AP01 1/8" = 1'-0"

COLOR LEGEND

- PUBLIC CORRIDOR
- KITCHENETTE
- PRIVATE CORRIDOR
- COURT ROOM
- ADMINISTRATION
- LIBRARY
- TOILET ROOM
- OFFICE
- STORAGE / JANITOR / MECHANICAL
- CLASSROOM

KEY PLAN



REVISIONS

NO.	DATE	DESCRIPTION OF CHANGE

CRABTREE ROHRBAUGH & ASSOCIATES - ARCHITECTS
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 MECHANICSBURG PA 17055
 717-458-0272 FAX 717-458-0047
 250 WEST MAIN STREET, SUITE 200
 CHARLOTTEVILLE VA 22902
 434-975-7262 FAX 434-975-7263
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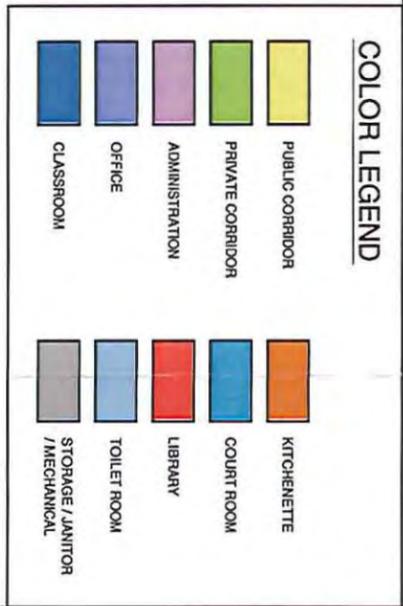
FIRST FLOOR PLAN
 PROJECT
 2403
 DATE
 AUGUST 8, 2011

RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214

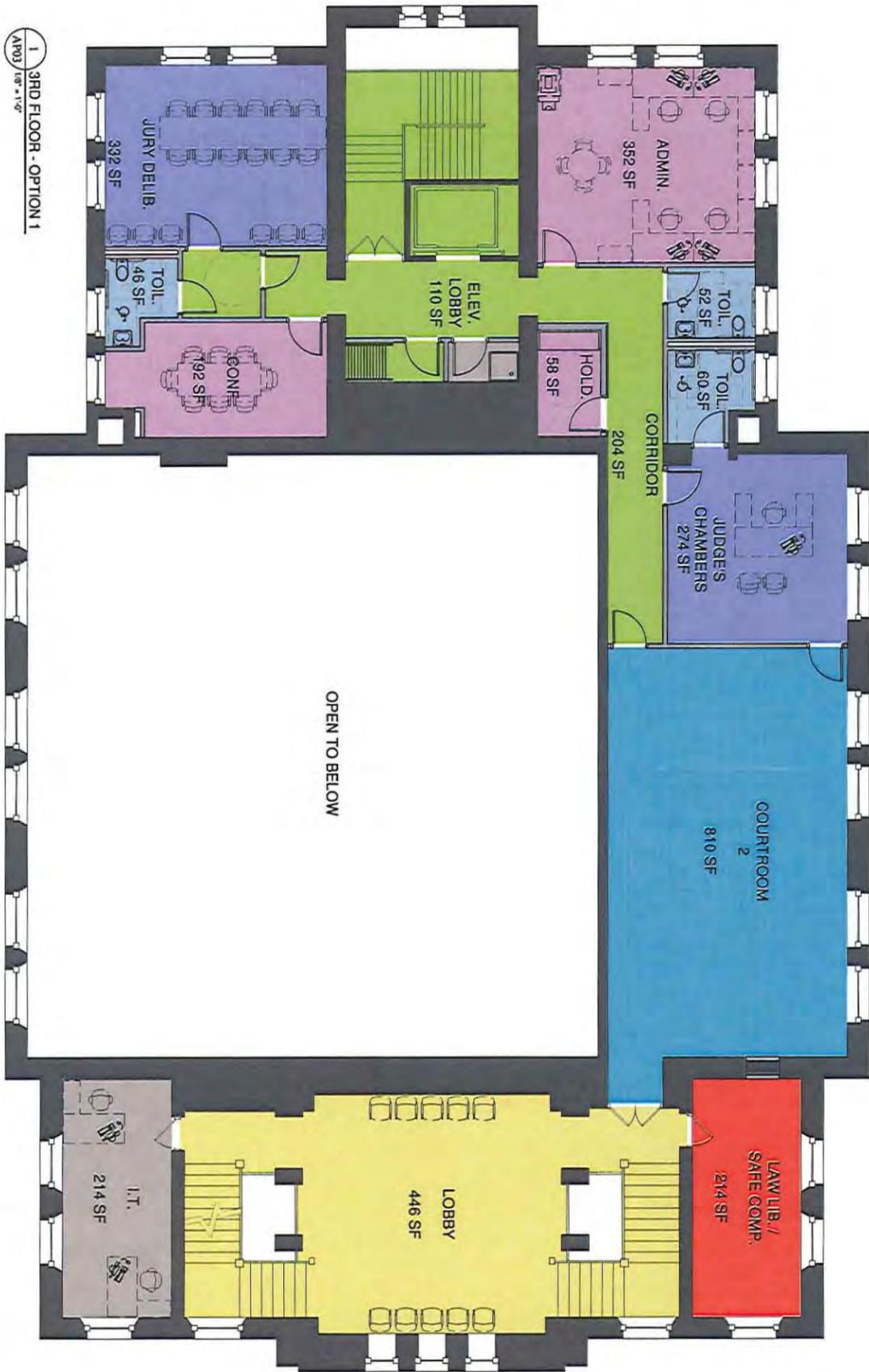
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1 2ND FLOOR - OPTION 1
AP03 1/8" = 1'-0"



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<p>RENOVATIONS TO CLARION COUNTY COURTHOUSE FOR CLARION COUNTY 214 SOUTH 7TH STREET CLARION, PA 16214</p>												



COLOR LEGEND	
[Yellow Box]	PUBLIC CORRIDOR
[Green Box]	PRIVATE CORRIDOR
[Purple Box]	ADMINISTRATION
[Blue Box]	OFFICE
[Light Blue Box]	CLASSROOM
[Orange Box]	KITCHENETTE
[Dark Blue Box]	COURT ROOM
[Red Box]	LIBRARY
[Light Blue Box]	TOILET ROOM
[Grey Box]	STORAGE / JANITOR / MECHANICAL

<p>CRABTREE ROHRBAUGH & ASSOCIATES - ARCHITECTS 401 EAST WINDING HILL ROAD MECHANICSBURG PA 17055 717-458-0272 FAX 717-458-0047</p>	<p>250 WEST MAIN STREET, SUITE 200 CHARLOTTESVILLE VA 22902 434-975-7262 FAX 434-975-7263 www.cra-architects.com</p>	<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION										<p>KEY PLAN</p>	<p>NO ARCHITECT, ENGINEER OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY PART OF THE PROJECT UNLESS IT IS SHOWN ON THE DRAWINGS AND THE ARCHITECT, ENGINEER OR ARCHITECTURAL FIRM HAS BEEN CONSULTED AND HAS GIVEN ITS CONSENT TO THE SAME. THE ARCHITECT, ENGINEER OR ARCHITECTURAL FIRM SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY PART OF THE PROJECT UNLESS IT IS SHOWN ON THE DRAWINGS AND THE ARCHITECT, ENGINEER OR ARCHITECTURAL FIRM HAS BEEN CONSULTED AND HAS GIVEN ITS CONSENT TO THE SAME.</p>
			NO.	DATE	DESCRIPTION											
<p>PROJECT 2403 9.3</p>	<p>RENOVATIONS TO CLARION COUNTY COURTHOUSE FOR CLARION COUNTY 214 SOUTH 7TH STREET CLARION, PA 16214</p>															

\\Crats4\Projects\2400\2403\2403 Drawings\CLARION COUNTY HUMAN SERVICES BUILDING\Sheets\2403-A1.0.3 GROUND FLOOR PLAN OPTION 3.dwg 08/11/11 10:48.01 AM EST



COLOR LEGEND

 PUBLIC CORRIDOR	 KITCHENETTE
 PRIVATE CORRIDOR	 COURT ROOM
 ADMINISTRATION	 LIBRARY
 OFFICE	 TOILET ROOM
 CLASSROOM	 STORAGE / JANITOR / MECHANICAL

KEY PLAN

REVISIONS

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 MECHANICSBURG PA 17055
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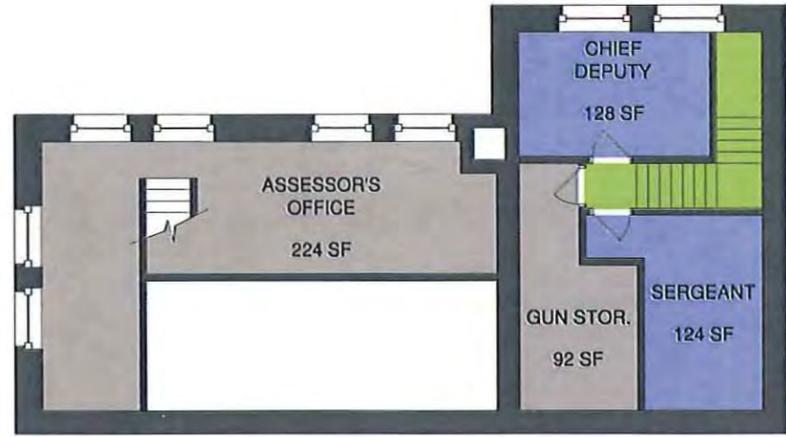
RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214

CR

GROUND FLOOR PLAN OPTION 3	PROJECT 2403
PLT SCALE	10.0
PLANNER 800 # 23 3000 FLOOR PLAN OPTION 3A	DATE AUGUST 8, 2011

1 GROUND FLOOR - OPTION 3A
 AP00 1/8" = 1'-0"

\\Crafts4\Projects\2400\2403\2403 Drawings\CLARION COUNTY HUMAN SERVICES BUILDING\Sheets\2403-A1.1.3 FIRST FLOOR PLAN OPTION 3.dwg 08/11/11 10:47:34 AM EST



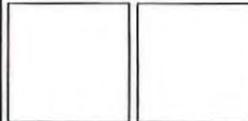
1A 1ST FLOOR MEZZANINE - OPTION 3A
AP01 1/8" = 1'-0"



1 1ST FLOOR - OPTION 3A
AP01 1/8" = 1'-0"

COLOR LEGEND

- PUBLIC CORRIDOR
- KITCHENETTE
- PRIVATE CORRIDOR
- COURT ROOM
- ADMINISTRATION
- LIBRARY
- OFFICE
- TOILET ROOM
- CLASSROOM
- STORAGE / JANITOR / MECHANICAL



ALL REPORTS, PLANS, SPECIFICATIONS AND CONTRACTS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PROJECT MANAGER. THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE PROJECT MANAGER SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

KEY PLAN



REVISIONS

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RENOVATIONS TO
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 214 SOUTH 7TH STREET
 CLARION, PA 16214

CR

FIRST FLOOR PLAN
 OPTION 3
 DATE: AUGUST 8, 2011

PROJECT
 2403
 10.1

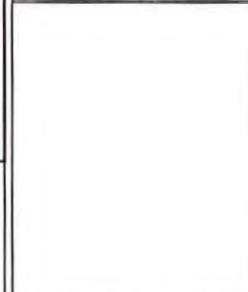


1 2ND FLOOR - OPTION 3A
AP02 1/8" = 1'-0"

COLOR LEGEND

- PUBLIC CORRIDOR
- KITCHENETTE
- PRIVATE CORRIDOR
- COURT ROOM
- ADMINISTRATION
- LIBRARY
- OFFICE
- TOILET ROOM
- CLASSROOM
- STORAGE / JANITOR / MECHANICAL

KEY PLAN



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RENOVATIONS TO
CLARION COUNTY COURTHOUSE
 FOR CLARION COUNTY
 214 SOUTH 7TH STREET
 CLARION, PA 16214



SECOND FLOOR PLAN
 OPTION 3A
 PLAN SCALE
 1/8" = 1'-0"
 DATE
 AUGUST 8, 2011

PROJECT
 2403
 10.2



1 3RD FLOOR - OPTION 3A
AP03 / 1/8" = 1'-0"

COLOR LEGEND

	PUBLIC CORRIDOR		KITCHENETTE
	PRIVATE CORRIDOR		COURT ROOM
	ADMINISTRATION		LIBRARY
	OFFICE		TOILET ROOM
	CLASSROOM		STORAGE / JANITOR / MECHANICAL

	<p>CRABTREE ROHRBAUGH & ASSOCIATES - ARCHITECTS 401 EAST WINDING HILL ROAD 250 WEST MAIN STREET, SUITE 200 MECHANICSBURG PA 17055 CHARLOTTESVILLE VA 22902 717-458-0272 FAX 717-458-0047 434-975-7262 FAX 434-975-7263 www.cra-architects.com</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION OF CHANGE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION OF CHANGE							<p>KEY PLAN</p> <p style="font-size: 8px;">THIS KEY PLAN IS A SUMMARY OF THE PROJECT AND IS NOT TO BE USED FOR CONSTRUCTION. THE KEY PLAN IS SUBJECT TO THE SAME REVISIONS AS THE MAIN PLAN. THE KEY PLAN IS NOT TO BE USED FOR CONSTRUCTION.</p>
NO.	DATE	DESCRIPTION OF CHANGE										
<p>PROJECT 2403</p> <p style="font-size: 24px; font-weight: bold;">10.3</p>	<p>RENOVATIONS TO CLARION COUNTY COURTHOUSE FOR CLARION COUNTY 214 SOUTH 7TH STREET CLARION, PA 16214</p>											

CLARION COUNTY COURTHOUSE

PROPOSED RENOVATIONS – OPTION 1

*Please note that two options which did not include an elevator were initially developed, "Option 1" and "Option 2". Option 1 was selected for further analysis because it adheres more directly to the owner's expressed program requirements to date.

GENERAL BUILDING CONDITIONS:

1. Exterior windows to remain
 - a. Some rattling – building pressurization from new HVAC system(s)
 - b. Some drafts – building pressurization from new HVAC system(s)
2. Wood wall base – light sanding & varnish to match on areas to remain
3. Original wood doors, frames & casings – light sanding & varnish to match on areas to remain

GROUND FLOOR:

1. Elevator Equipment Room & Stairs to remain
2. New Women's and Men's Restrooms in area of Janitor (D002), Men's Restroom (D003), Women's Restroom (D004), Maintenance Storage (D005)
 - a. Existing toilet partitions demolition. New code-compliant partition layout & installation.
 - b. Selective partition wall & door demolition. New code compliant layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - c. Existing fixture demolition. New code compliant layout & fixture installation.
 - d. Selective floor and slab demolition to accommodate new layout. Patch, repair & painting of existing surfaces.
 - e. Wall & floor finish demolition. New ceramic tile flooring & wainscot.
 - f. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - g. Plumbing demolition. New plumbing installation. Patch, repair & painting of existing surfaces.
 - h. Lighting demolition. New lighting & electrical installation. Patch, repair & painting of existing surfaces.
 - i. New code-compliant accessory installation.
3. New Probation Offices in area of Accounting (D006, D007, D008, D009), Treasurer (D010), Sherriff's Offices (D011, D012, D013, D014, D015)
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - g. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.

- h. Selective demolition for new openings in masonry walls. New lintel installation.
 - i. New exterior door security system & weather-stripping installation. Repaint door.
4. New Waiting Area, Corridor, Probation Offices, Toilet Room and Evidence Storage in area of Elevator Lobby (D016), Corridor (D017), Vestibules (D018, D019), Storage (D020, D021)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet and VCT installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - g. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - h. Selective demolition for new openings in masonry walls. New lintel installation.
 - i. New secure vestibule installation.
 - j. New exterior door security system & weather-stripping installation.
 - k. Selective floor and slab demolition to accommodate new Toilet Room. Patch, repair & painting of existing surfaces.
 - l. New ceramic tile flooring & wainscot in new Toilet Room.
 - m. New plumbing installation in new Toilet Room. Patch, repair & painting of existing surfaces.
 - n. New code-compliant fixture & accessory installation in new Toilet Room.
5. Meter Room to remain
6. New Classroom and Kitchenette in area of Planning Office (D023, D024)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet and VCT installation.
 - c. New wall base installation.
 - d. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - g. Selective floor and slab demolition to accommodate new Kitchenette. Patch, repair & painting of existing surfaces.
 - h. New plumbing installation in new Kitchenette. Patch, repair & painting of existing surfaces.
 - i. New casework installation.
7. Maintenance Room (D025), Storage (D026), Boiler Room (D027), Maintenance Storage (D028)
- a. HVAC & piping demolition. Boiler retrofit & new HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. New exterior door security system & weather-stripping installation. Repaint door.

FIRST FLOOR:

1. Elevator & Stairs to remain
2. Assessor's Office (D101, D102) & Mezzanine (D103)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
3. Corridor (D104) & Lobby (D105)
 - a. HVAC & piping demolition. Boiler retrofit & new HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Ceiling painting.
 - d. Tile flooring patch & repair.
 - e. New exterior door security system and weather-stripping installation.
 - f. Relocation of existing X-ray machine.
4. Files (D106, D107), Register and Recorder of Deeds (D108), Prothonotary (D109, D110, D111), Lounge (D112)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
5. Toilet Room (D113)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
6. New Sherriff's Offices, Lounge & Changing Rooms in area of Register's Recorder, Voter Registration, Hall & Chief Clerk
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - c. New wall base installation.
 - d. Floor finish demolition. New carpet and VCT installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - g. Selective floor and slab demolition to accommodate new Kitchenette in Lounge. Patch, repair & painting of existing surfaces.
 - h. New plumbing installation in new Kitchenette in Lounge. Patch, repair & painting of existing surfaces.
 - i. New locker installation.
 - j. New casework installation.
 - k. Selective door demolition.
 - l. Ceiling painting.
7. Commissioner's Offices Mezzanine (D121, D122, D123)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.

SECOND FLOOR:

1. Elevator & Stairs to remain
2. New Toilet Room in area of Elevator Lobby (D201)
 - a. Selective wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Selective floor finish demolition. New VCT installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - d. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - e. Selective floor and slab demolition to accommodate new Toilet Room. Patch, repair & painting of existing surfaces.
 - f. New ceramic tile flooring & wainscot in new Toilet Room.
 - g. New plumbing installation in new Toilet Room. Patch, repair & painting of existing surfaces.
 - h. New code-compliant fixture & accessory installation in new Toilet Room.
3. New Auditor's/Jury Commissioner's Room in area of Toilet Rooms (D202, D203)
 - a. Floor & subfloor demolition.
 - b. Partition wall & door demolition.
 - c. Fixture demolition.
 - d. Wall & floor finish demolition.
 - e. HVAC & piping demolition.
 - f. Plumbing demolition.
 - g. Acoustical ceiling & lighting demolition.
 - h. Patch, repair & painting of existing surfaces.
4. New Auditor's/Jury Commissioner's Room in area of Court Administrator (D204)
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. New wood door installation.
 - g. New wall base installation.
5. New Jury Deliberation in area of Judge's Chambers (D205)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - d. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - e. Floor finish demolition. New carpet installation.

- f. New wall base installation.
 - g. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - h. Casework demolition.
 - i. Selective door demolition and infill.
6. Courtroom 1 (D206)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Wall finish demolition. Wood wainscot to remain. Patch, repair & painting of existing surfaces.
 - d. Floor finish demolition. New carpet installation.
 - e. Millwork removal and re-installation.
 - f. Acoustical treatment installation.
7. New Women's Restroom in area of Toilet Room (D207)
- a. Floor & subfloor demolition.
 - b. Partition wall & door demolition.
 - c. Fixture demolition.
 - d. Wall & floor finish demolition.
 - e. HVAC & piping demolition.
 - f. Plumbing demolition.
 - g. Acoustical ceiling & lighting demolition.
 - h. Patch, repair & painting of existing surfaces.
8. New Women's Restroom in area of Conference Room (D208)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - i. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - j. Selective floor and slab demolition. Patch, repair & painting of existing surfaces.
 - k. New ceramic tile flooring & wainscot.
 - l. New plumbing installation. Patch, repair & painting of existing surfaces.
 - m. New code-compliant fixture & accessory installation.
 - n. Door demolition & new wood door installation.
 - o. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
9. Public Lobby (D209)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
10. New Men's Restroom in area of Offices (D210, D211)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.

- d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - p. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - q. Selective floor and slab demolition. Patch, repair & painting of existing surfaces.
 - r. New ceramic tile flooring & wainscot.
 - s. New plumbing installation. Patch, repair & painting of existing surfaces.
 - t. New code-compliant fixture & accessory installation.
 - u. Door demolition & new wood door installation.
 - v. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - w. Selective door demolition and infill.
11. New Corridor, Conference Rooms, Court Administrator & Toilet Room in area of Law Library (D212) & Deputy Court Administrator (D213)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet & VCT installation.
 - c. New wall base installation.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Selective floor and slab demolition to accommodate new Toilet Room & small Kitchenette. Patch, repair & painting of existing surfaces.
 - h. New ceramic tile flooring & wainscot in new Toilet Room.
 - i. New plumbing installation in new Toilet Room & small Kitchenette. Patch, repair & painting of existing surfaces.
 - j. New code-compliant fixture & accessory installation in new Toilet Room.
 - k. Door demolition & new wood door installation.
 - l. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - m. Library stacks demolition.
12. New Judge's Chambers in area of Men's Restroom (D214)
- a. Toilet partition demolition.
 - b. Floor & subfloor demolition.
 - c. Fixture demolition.
 - d. Plumbing demolition.
 - e. Patch & repair of existing surfaces.
 - f. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - g. Floor finish demolition. New carpet installation.
 - h. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - i. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - j. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - k. Door demolition & new wood door installation.
 - l. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
13. New Toilet Rooms, Corridor, Storage & Administration in area of Hall (D215), Secretary (D216) & Judge's Chamber (D217)

- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
- b. Floor finish demolition. New carpet & VCT installation.
- c. New wall base installation.
- d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
- e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
- f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
- g. Selective floor and slab demolition to accommodate new Toilet Rooms. Patch, repair & painting of existing surfaces.
- h. New ceramic tile flooring & wainscot in new Toilet Rooms.
- i. New plumbing installation in new Toilet Rooms. Patch, repair & painting of existing surfaces.
- j. New code-compliant fixture & accessory installation in new Toilet Rooms.
- k. Door demolition & new wood door installation.
- l. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.

THIRD FLOOR:

- 1. Elevator & Stairs to remain
- 2. Elevator Lobby (D301)
 - a. Selective wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Selective floor finish demolition. New VCT installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. Door demolition & new wood door installation.
 - m. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - g. New wall base installation.
- 3. New Jury Deliberation, Toilet Room & Conference Room in area of Second Courtroom (D302)
 - a. Millwork removal.
 - b. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - c. Floor finish demolition. New carpet installation.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Selective floor and slab demolition to accommodate new Toilet Room. Patch, repair & painting of existing surfaces.
 - h. New ceramic tile flooring & wainscot in new Toilet Room.
 - i. New plumbing installation in new Toilet Room. Patch, repair & painting of existing surfaces.
 - j. New code-compliant fixture & accessory installation in new Toilet Room.

- k. Door demolition & new wood door installation.
 - n. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - l. New wall base installation.
4. I.T. (D303)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
5. Public Lobby (D304)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
6. New Law Library, Courtroom 2 & Judge's Chambers in area of Office (D305), Human Resources (D306, D307, D308) & Passage (D309)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. Door demolition & new wood door installation.
 - o. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - g. New wall base installation.
 - h. Selective door demolition and infill.
 - i. Asbestos floor tile abatement.
7. New Corridor in area of Corridor (D310)
- a. Asbestos floor tile abatement. New VCT installation.
 - b. Wall patch, repair & painting.
 - c. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - d. Lighting demolition. New acoustical ceiling & lighting installation.
8. New Toilet Rooms & Holding Cell in area of Toilet Rooms (D311, D312, D313, D314)
- a. Floor & subfloor demolition.
 - b. Fixture demolition.
 - c. Plumbing demolition.
 - d. Patch & repair of existing surfaces.
 - e. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - f. Floor finish demolition.
 - g. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.

- h. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - i. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - j. Door demolition & new wood door installation.
 - p. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors & new layout and installation of CMU partition walls with hollow metal door.
 - k. New wall base installation.
 - l. Selective floor and slab demolition to accommodate new Toilet Rooms. Patch, repair & painting of existing surfaces.
 - m. New ceramic tile flooring & wainscot in new Toilet Rooms.
 - n. New plumbing installation in new Toilet Rooms. Patch, repair & painting of existing surfaces.
 - o. New code-compliant fixture & accessory installation in new Toilet Rooms.
 - p. Polished & sealed existing concrete slab in Holding Cell.
 - q. New secure, restraint-ready seating in Holding Cell.
9. New Administration in area of Judge's Chambers (D315) & Conference Room (D316)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. New wall base installation.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Door demolition & new wood door installation.
 - q. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.

CLARION COUNTY COURTHOUSE - OPTION 1					2403
CLARION, PA.					
PRELIMINARY COST ESTIMATE			Gross Building Area in SF:		36,060
CRABTREE, ROHRBAUGH & ASSOCIATES			Net Building Area in SF:		27,435
INTERIOR RENOVATIONS					
Demolition	Units	No. Units	\$ / Unit	Subtotal	
Asbestos Abatement	LS			\$ 25,000	
Carpet	SF	13513	\$ 0.50	\$ 6,757	
Wall paneling	SF	28812	\$ 1.30	\$ 37,456	
Suspended acoustical ceiling	SF	9111	\$ 0.50	\$ 4,556	
Masonry opening	Each	5	\$ 5,000	\$ 25,000	
Concrete floor	SF	858	\$ 20.00	\$ 17,160	
Ceramic Tile	SF	144	\$ 1.00	\$ 144	
Wood Doors	Each	58	\$ 120.00	\$ 6,960	
Partition Wall	SF	5668	\$ 2.35	\$ 13,320	
Dumpster/Rubbish handling	40 CY	10	\$ 965.00	\$ 9,650	
Subtotal Demolition					\$ 146,001
Renovations					
Plaster repair	SF	36451	\$ 1.00	\$ 36,451	
Paint	SF	65059	\$ 0.60	\$ 39,035	
New walls - stl studs, gyp bd, fin-2 sides	SF	11328	\$ 15.00	\$ 169,920	
Repair wood trim and refinish	LF	3302	\$ 10.00	\$ 33,020	
New wood base	LF	3078	\$ 15.00	\$ 46,170	
New door, frame, casing, hardware	Each	67	\$ 1,200.00	\$ 80,400	
Restored door, refinish door and casing	Each	44	\$ 200.00	\$ 8,800	
New carpet	SF	11256	\$ 5.00	\$ 56,280	
New ceramic tile floor & wainscot	SF	4219	\$ 15.00	\$ 63,285	
Vinyl composition tile	SF	3157	\$ 3.00	\$ 9,471	
New suspended acoustical ceiling	SF	9133	\$ 4.00	\$ 36,532	
Plaster ceiling	SF	58	\$ 7.50	\$ 435	
Toilet Partitions	Each	16	\$ 1,000.00	\$ 16,000	
Urinal Screens	Each	7	\$ 300.00	\$ 2,100	
Toilet Accessories	Each	24	\$ 500.00	\$ 12,000	
Acoustical Wall Panels	SF	1995	\$ 10.00	\$ 19,950	
Signage	Each	114	\$ 65.00	\$ 7,410	
Casework - Benches/Lockers/Kitchenettes	LF	94	\$ 325.00	\$ 30,550	
Residential Appliances	Each	7	\$ 575.00	\$ 4,025	
Visual Display Boards	Each	3	\$ 800.00	\$ 2,400	
Window Blinds	SF	2973	\$ 8.00	\$ 23,784	
Fire Extinguishers	Each	15	\$ 350.00	\$ 5,250	
Concrete floor slab patching	SF	445	\$ 16.80	\$ 7,476	
Ceramic Tile repair	SF	2722	\$ 10.55	\$ 28,717	
Subtotal Renovations					\$ 739,462

				BASE	ENHANCED
Plumbing Demolition				\$ 20,000	\$ 20,000
Plumbing Construction					
Plumbing Fixtures				\$120,000	\$120,000
Water Service				\$10,000	\$50,000
Sanitary Pipe Testing				\$0	\$10,000
Stormwater System				\$0	\$30,000
Sprinkler System				\$0	\$200,000
PLUMBING SUBTOTAL				\$150,000	\$430,000
HVAC Demolition				\$50,000	\$50,000
HVAC Construction					
Heating System				\$380,000	\$380,000
Courtroom 1 AHU				\$120,000	\$120,000
Ventilation				\$100,000	\$100,000
Air Conditioning System				\$125,000	\$250,000
Building Thermostat				\$100,000	\$100,000
HVAC SUBTOTAL				\$875,000	\$1,000,000
Electrical Demolition				\$25,000	\$25,000
Electrical Construction					
Electrical Service				\$25,000	\$105,000
Lighting				\$100,000	\$100,000
Lighting Controls				\$0	\$25,000
Fire Alarm System				Incl.	Incl.
Security System				\$0	\$25,000
Data Distribution				\$0	\$50,000
ELECTRICAL SUBTOTAL				\$150,000.00	\$330,000
				BASE	ENHANCED
SUBTOTAL ALL CONSTRUCTION				\$2,060,463	\$2,645,463
10% Estimating Contingency				\$206,046	\$264,546
7.5% Construction Contingency				\$154,535	\$198,410
SUBTOTAL				\$2,421,044	\$3,108,419
15% General Conditions				\$363,157	\$466,263
				BASE	ENHANCED
TOTAL CONSTRUCTION COSTS				\$2,784,200	\$3,574,682
A/E fee of 6% of Constructions Costs				\$167,052	\$214,481
GRAND TOTAL				\$2,951,253	\$3,789,163

CLARION COUNTY COURTHOUSE

PROPOSED RENOVATIONS – OPTION 3A

*Please note that two options which included an elevator were initially developed, "Option 3" and "Option 3A". Option 3A was selected for further analysis because it adheres more directly to the owner's expressed program requirements to date.

GENERAL BUILDING CONDITIONS:

1. Exterior windows to remain
 - a. Some rattling – building pressurization from new HVAC system(s)
 - b. Some drafts – building pressurization from new HVAC system(s)
2. Wood wall base – light sanding & varnish to match on areas to remain
3. Original wood doors, frames & casings – light sanding & varnish to match on areas to remain

GROUND FLOOR:

1. Elevator Equipment Room & Stairs to remain
2. New Kitchenette, Toilet Room & Men's and Women's Restrooms in area of Janitor (D002), Men's Restroom (D003), Women's Restroom (D004), Maintenance Storage (D005)
 - a. Existing toilet partitions demolition. New code-compliant partition layout & installation.
 - b. Partition wall & door demolition. New code compliant layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - c. Existing fixture demolition. New code compliant layout & fixture installation.
 - d. New code-compliant accessory installation.
 - e. Selective floor and slab demolition to accommodate new layout. Patch, repair & painting of existing surfaces.
 - f. Wall & floor finish demolition. New ceramic tile flooring & wainscot in Men's and Women's Restrooms. New gypsum wallboard partition & VCT flooring installation in Kitchenette.
 - g. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - h. Plumbing demolition. New plumbing installation. Patch, repair & painting of existing surfaces.
 - i. Lighting demolition. New lighting & electrical installation. Patch, repair & painting of existing surfaces.
 - j. New plumbing installation in new Kitchenette. Patch, repair & painting of existing surfaces.
 - k. New casework installation in Kitchenette.
3. New Probation Offices in area of Accounting (D006, D007, D008, D009), Treasurer (D010), Sherriff's Offices (D011, D012, D013, D014, D015)
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.

- b. Floor finish demolition. New carpet installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - g. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - h. Selective demolition for new openings in masonry walls. New lintel installation.
 - i. New exterior door security system & weather-stripping installation. Repaint door.
4. New Waiting Area, Corridor, Probation Offices, File & Evidence Storage, Lobby and Elevator in area of Elevator Lobby (D016), Corridor (D017), Vestibules (D018, D019), Storage (D020, D021)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet & VCT installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - g. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - h. Selective demolition for new openings in masonry walls. New lintel installation.
 - i. New secure vestibule installation.
 - j. New exterior door security system & weather-stripping installation.
 - k. Selective floor and slab demolition to accommodate new Elevator and Elevator Equipment installation. Patch, repair & painting of existing surfaces.
 - l. New fire-rated masonry wall Elevator shaft enclosure.
5. Meter Room to remain
6. New Classroom and Conference Room in area of Planning Office (D023, D024)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. New wall base installation.
 - d. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
7. Maintenance Room (D025), Storage (D026), Boiler Room (D027), Maintenance Storage (D028)
- a. HVAC & piping demolition. Boiler retrofit & new HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. New exterior door security system & weather-stripping installation. Repaint door.

FIRST FLOOR:

1. Elevator & Stairs to remain
2. Assessor's Office (D101, D102) & Mezzanine (D103)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
3. Corridor (D104) & Lobby (D105)
 - a. HVAC & piping demolition. Boiler retrofit & new HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Ceiling painting.
 - d. Tile flooring patch & repair.
 - e. New exterior door security system & weather-stripping installation.
 - f. Relocation of existing X-ray machine.
4. New Elevator in area of Files (D106, D107), Register and Recorder of Deeds (D108), Prothonotary (D109, D110, D111), Lounge (D112)
 - a. Demolition of entire stair to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - b. Salvage of balusters, post, rails and other woodwork.
 - c. Selective floor and slab demolition to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - d. New fire-rated masonry wall Elevator shaft enclosure.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
5. Toilet Room (D113)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
6. New Sherriff's Offices, Lounge & Changing Rooms in area of Register's Recorder, Voter Registration, Hall & Chief Clerk
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - c. New wall base installation.
 - d. Floor finish demolition. New carpet and VCT installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - g. Selective floor and slab demolition to accommodate new Kitchenette in Lounge. Patch, repair & painting of existing surfaces..
 - h. New plumbing installation in new Kitchenette in Lounge. Patch, repair & painting of existing surfaces.
 - i. New locker installation.
 - j. New casework installation.
 - k. Selective door demolition.

- i. Ceiling painting.
- 7. Commissioner's Offices Mezzanine (D121, D122, D123)
 - a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.

SECOND FLOOR:

- 1. Elevator & Stairs to remain
- 2. New Toilet Room in area of Elevator Lobby (D201)
 - a. Selective wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Selective floor finish demolition. New VCT installation.
 - c. Selective partition wall & door demolition. New layout and installation of metal stud & gypsum wallboard partitions with wood doors.
 - d. New wall base installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - d. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - e. Selective floor and slab demolition to accommodate new Toilet Room. Patch, repair & painting of existing surfaces.
 - f. New ceramic tile flooring & wainscot in new Toilet Room.
 - g. New plumbing installation in new Toilet Room. Patch, repair & painting of existing surfaces.
 - h. New code-compliant fixture & accessory installation in new Toilet Room.
- 3. New Closet & Janitor Closet in area of Toilet Rooms (D202, D203)
 - a. Fixture demolition. Patch, repair & painting of existing surfaces.
 - b. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - c. Floor finish demolition. New VCT installation.
 - d. HVAC & piping demolition. Patch, repair & painting of existing surfaces
 - e. Plumbing demolition. New plumbing installation.
 - f. Acoustical ceiling & lighting demolition. New ceiling & lighting installation.
 - g. New wall base installation.
- 4. Court Administrator (D204)
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. New wall base installation.
- 5. Judge's Chambers (D205)
 - a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.

- c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. New wall base installation.
 - g. Removal & re-installation of existing bookcases.
6. Courtroom 1 (D206)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Wall finish demolition. Wood wainscot to remain. Patch, repair & painting of existing surfaces.
 - d. Floor finish demolition. New carpet installation.
 - e. Millwork removal and re-installation.
 - f. Acoustical treatment installation.
7. New Conference Room in area of Toilet Room (D207)
- a. Floor & subfloor demolition.
 - b. Partition wall & door demolition.
 - c. Fixture demolition.
 - d. Wall & floor finish demolition.
 - e. HVAC & piping demolition.
 - f. Plumbing demolition.
 - g. Acoustical ceiling & lighting demolition.
 - h. Patch, repair & painting of existing surfaces.
8. New Conference Room in area of Conference Room (D208)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - i. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - j. Door demolition & new wood door installation.
 - k. Partition wall demolition. Patch, repair & painting of existing surfaces.
 - l. New wall base installation.
9. New Elevator in area of Public Lobby (D209)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Demolition of entire stair to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - d. Selective floor and slab demolition to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - e. New fire-rated masonry wall Elevator shaft enclosure.
 - f. Salvage of balusters, post, rails and other woodwork.

- g. Installation of railing and balusters salvaged from stair demolition to match existing finishes.
10. New Conference Room in area of Offices (D210, D211)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. Door demolition & new wood door installation.
 - m. Partition wall demolition. Patch, repair & painting of existing surfaces.
 - n. New wall base installation.
 - g. Selective door demolition and infill.
11. New Corridor, Women's and Men's Restrooms & Administration in area of Law Library (D212) & Deputy Court Administrator (D213)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New VCT installation in Corridor.
 - c. New wall base installation in Corridor.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Selective floor and slab demolition to accommodate new Restrooms. Patch, repair & painting of existing surfaces.
 - h. New ceramic tile flooring & wainscot in new Restrooms.
 - i. New plumbing installation in new Restrooms. Patch, repair & painting of existing surfaces.
 - j. New code-compliant fixture & accessory installation in new Restrooms
 - k. New code-compliant toilet partitions in new Restrooms.
 - l. Door demolition & new wood door installation.
 - m. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - n. Library stacks demolition.
12. New Administration & Kitchenette in area of Men's Restroom (D214)
- a. Toilet partition demolition.
 - b. Floor & subfloor demolition.
 - c. Fixture demolition.
 - d. Plumbing demolition.
 - e. Patch & repair of existing surfaces.
 - f. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - g. Floor finish demolition. New carpet & VCT installation.
 - h. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - i. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - j. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.

- k. Door demolition & new wood door installation.
 - l. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - m. Selective floor and slab demolition to accommodate new Kitchenette. Patch, repair & painting of existing surfaces.
 - n. New plumbing installation in new Kitchenette. Patch, repair & painting of existing surfaces.
 - o. New casework installation.
 - p. New wall base installation.
13. New Toilet Rooms, Corridor, Auditor's / Jury Commissioner's Room in area of Hall (D215), Secretary (D216) & Judge's Chamber (D217)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet & VCT installation.
 - c. New wall base installation.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Selective floor and slab demolition to accommodate new Toilet Rooms. Patch, repair & painting of existing surfaces.
 - h. New ceramic tile flooring & wainscot in new Toilet Rooms.
 - i. New plumbing installation in new Toilet Rooms. Patch, repair & painting of existing surfaces.
 - j. New code-compliant fixture & accessory installation in new Toilet Room.
 - k. Door demolition & new wood door installation.
 - l. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.

THIRD FLOOR:

- 1. Elevator & Stairs to remain
- 2. Elevator Lobby (D301)
 - a. Selective wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Selective floor finish demolition. New VCT installation.
 - c. New wall base installation.
 - d. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - g. Door demolition & new wood door installation.
 - h. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
- 3. New Jury Deliberation 1, Toilet Room & Mediation Room in area of Second Courtroom (D302)
 - a. Millwork removal.

- b. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - c. Floor finish demolition. New carpet installation.
 - d. New wall base installation.
 - e. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - f. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - g. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - h. Selective floor and slab demolition to accommodate new Toilet Room. Patch, repair & painting of existing surfaces.
 - i. New ceramic tile flooring & wainscot in new Toilet Room.
 - j. New plumbing installation in new Toilet Room. Patch, repair & painting of existing surfaces.
 - k. New code-compliant fixture & accessory installation in new Toilet Room.
 - l. Door demolition & new wood door installation.
 - m. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
4. I.T. (D303)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
5. New Elevator in area of Public Lobby (D304)
- a. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - b. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - c. Demolition of entire stair to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - d. Selective floor and slab demolition to accommodate new Elevator installation. Patch, repair & painting of existing surfaces.
 - e. New fire-rated masonry wall Elevator shaft enclosure.
 - f. Salvage of balusters, post, rails and other woodwork.
 - g. Installation of railing and balusters salvaged from stair demolition to match existing finishes.
6. New Law Library, Courtroom 2 & Judge's Chambers in area of Office (D305), Human Resources (D306, D307, D308) & Passage (D309)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. Door demolition & new wood door installation.

- g. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - h. Selective door demolition and infill.
 - i. Asbestos floor tile abatement.
7. New Corridor in area of Corridor (D310)
- a. Asbestos floor tile abatement.
 - b. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - c. Floor finish demolition. New VCT installation.
 - d. New wall base installation.
 - e. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - f. Lighting demolition. New acoustical ceiling & lighting installation.
8. New Toilet Rooms & Kitchenette in area of Toilet Rooms (D311, D312, D313, D314)
- a. Floor & subfloor demolition.
 - b. Fixture demolition.
 - c. Plumbing demolition.
 - d. Patch & repair of existing surfaces.
 - e. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - f. Floor finish demolition. New VCT installation in Kitchenette.
 - g. New wall base installation in Kitchenette.
 - h. New Kitchenette casework installation.
 - i. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - j. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - k. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - l. Door demolition & new wood door installation.
 - m. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.
 - n. Selective floor and slab demolition to accommodate new Toilet Rooms & Kitchenette. Patch, repair & painting of existing surfaces.
 - o. New ceramic tile flooring & wainscot in new Toilet Rooms.
 - p. New plumbing installation in new Toilet Rooms & Kitchenette. Patch, repair & painting of existing surfaces.
 - q. New code-compliant fixture & accessory installation in new Toilet Rooms.
9. New Jury Deliberation 2 in area of Judge's Chambers (D315) & Conference Room (D316)
- a. Wall finish demolition. Patch, repair & painting of existing surfaces.
 - b. Floor finish demolition. New carpet installation.
 - c. HVAC & piping demolition. New HVAC system installation. Patch, repair & painting of existing surfaces.
 - d. Electrical & wiring systems demolition. New electrical & wiring systems installation. Patch, repair & painting of existing surfaces.
 - e. Acoustical ceiling system & lighting demolition. New ceiling & lighting installation.
 - f. Door demolition & new wood door installation.
 - g. Partition wall demolition. New layout and installation of metal stud & gypsum wallboard partitions.

CLARION COUNTY COURTHOUSE - OPTION 3A					2403
CLARION, PA.					
PRELIMINARY COST ESTIMATE			Gross Building Area in SF:	36,060	
CRABTREE, ROHRBAUGH & ASSOCIATES			Net Building Area in SF:	27,435	
INTERIOR RENOVATIONS					
Demolition	Units	No. Units	\$ / Unit	Subtotal	
Asbestos Abatement				\$ 25,000	
Carpet	SF	13653	\$ 0.50	\$ 6,827	
Wall paneling	SF	29924	\$ 1.30	\$ 38,901	
Suspended acoustical ceiling	SF	9111	\$ 0.50	\$ 4,556	
Masonry opening	Each	6	\$ 5,000	\$ 30,000	
Concrete floor	SF	779	\$ 20.00	\$ 15,580	
Ceramic Tile	SF	144	\$ 1.00	\$ 144	
Wood Doors	Each	52	\$ 120.00	\$ 6,240	
Partltion Wall	SF	5382	\$ 2.35	\$ 12,648	
Wood Stairs	Flight	6	\$ 5,000	\$ 30,000	
Dumpster/Rubbish handling	40 CY	10	\$ 965.00	\$ 9,650	
Subtotal Demolition					\$ 179,545
Renovations					
Plaster repair	SF	37455	\$ 1.00	\$ 37,455	
Paint	SF	67643	\$ 0.60	\$ 40,586	
New walls - stl studs, gyp bd, fin-2 sides	SF	12531	\$ 15.00	\$ 187,965	
Repair wood trim and refinish	LF	3437	\$ 10.00	\$ 34,370	
New wood base	LF	2846	\$ 15.00	\$ 42,690	
New door, frame, casing, hardware	Each	56	\$ 1,200.00	\$ 67,200	
Restored door, refinish door and casing	Each	51	\$ 200.00	\$ 10,200	
New carpet	SF	11286	\$ 5.00	\$ 56,430	
New ceramic tile floor & wainscot	SF	3982	\$ 15.00	\$ 59,730	
Vinyl composition tile	SF	3013	\$ 3.00	\$ 9,039	
New suspended acoustical ceiling	SF	10037	\$ 4.00	\$ 40,148	
Toilet Partitions	Each	12	\$ 1,000.00	\$ 12,000	
Urinal Screens	Each	5	\$ 300.00	\$ 1,500	
Toilet Accessories	Each	19	\$ 500.00	\$ 9,500	
Acoustical Wall Panels	SF	1995	\$ 10.00	\$ 19,950	
Signage	Each	117	\$ 65.00	\$ 7,605	
Casework - Benches/Lockers/Kitchenettes	LF	99	\$ 325.00	\$ 32,175	
Residential Appliances	Each	9	\$ 575.00	\$ 5,175	
Visual Display Boards	Each	3	\$ 800.00	\$ 2,400	
Window Blinds	SF	2973	\$ 8.00	\$ 23,784	
Fire Extinguishers	Each	17	\$ 350.00	\$ 5,950	
Concrete floor slab patching	SF	220	\$ 16.80	\$ 3,696	
Ceramic Tile repair	SF	2722	\$ 10.55	\$ 28,717	
Elevator	Each	1	\$ 150,000	\$ 150,000	
Subtotal Renovations					\$ 888,265

				BASE	ENHANCED
Plumbing Demolition				\$ 20,000	\$ 20,000
Plumbing Construction					
Plumbing Fixtures				\$108,000	\$108,000
Water Service				\$10,000	\$50,000
Sanitary Pipe Testing				\$0	\$10,000
Stormwater System				\$0	\$30,000
Sprinkler System				\$0	\$200,000
PLUMBING SUBTOTAL				\$138,000	\$418,000
HVAC Demolition				\$50,000	\$50,000
HVAC Construction					
Heating System				\$380,000	\$380,000
Courtroom 1 AHU				\$120,000	\$120,000
Ventilation				\$100,000	\$100,000
Air Conditioning System				\$125,000	\$250,000
Building Thermostat				\$100,000	\$100,000
HVAC SUBTOTAL				\$875,000	\$1,000,000
Electrical Demolition				\$25,000	\$25,000
Electrical Construction					
Electrical Service				\$25,000	\$105,000
Lighting				\$100,000	\$100,000
Lighting Controls				\$0	\$25,000
Fire Alarm System				Incl.	Incl.
Security System				\$0	\$25,000
Data Distribution				\$0	\$50,000
ELECTRICAL SUBTOTAL				\$150,000	\$330,000
				BASE	ENHANCED
SUBTOTAL ALL CONSTRUCTION				\$2,230,810	\$2,815,810
10% Estimating Contingency				\$223,081	\$281,581
7.5% Construction Contingency				\$167,311	\$211,186
SUBTOTAL				\$2,621,202	\$3,308,577
15% General Conditions				\$393,180	\$496,286
				BASE	ENHANCED
TOTAL CONSTRUCTION COSTS				\$3,014,382	\$3,804,863
A/E fee of 6% of Constructions Costs				\$180,863	\$228,292
GRAND TOTAL				\$3,195,245	\$4,033,155

HAZARDOUS MATERIALS REPORT

2705-00
RCF

ALLEGHENY MOUNTAIN RESEARCH, INC.

540 John Street, P.O. Box 133, Shanksville, PA 15560
(814) 267-4404 • Fax (814) 267-6034

May 2, 2011

Mr. Richard LeBlanc, AIA
Crabtree, Rohrbaugh & Associates

Re: Asbestos/Lead Based Paint Building Survey @ Clarion Co. Courthouse

Rick,

Just a note with the survey. We did not sample any exterior window caulking/glazing. I knew that you had told me that the exterior of the building was not being impacted by this project, but when I was putting this survey report together, I read in the RFP that windows might be impacted in the construction. If this is the case, then I will have to return to the site and sample some of those materials. Please advise.

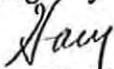
Secondly, regarding the lead paint sampling. EPA really doesn't regulate lead paint issues on a project of this type in a building of this type. In other words, there is a recent EPA regulation that went into effect in 2010 (Lead Safe Renovation, Repair and Painting Lead Rule or RRP), however it only applies to contractors working in residential structures or child-occupied facilities (i.e. a school). As mentioned in my report, OSHA would be the only agency that would regulate this project from a lead paint standpoint and I've described that scenario in the report.

Our lead paint sampling does indicate that there is some older paint (i.e. the yellow paint found in 1st floor and 3rd floor locations) that is considered lead based paint due to its high lead content. Most of the paint samples that were analyzed indicated that they were not lead paint.

If you have any specific lead paint concerns that you wanted to address please let me know. Because as stated above, there really isn't any EPA reg that needs to be followed in this case. Regarding any OSHA compliance, the contractor always should be aware of his workers possibly having a lead exposure during work activities, but that is usually only if those workers are cutting or burning a lead based paint (regular demolition activities generally do not create a lead issue)..

Let me know if you need to discuss this further. Call if you have any other questions or comments. Thanks!!

Allegheny Mt. Research,


Gary W. Miller



540 John Street, P.O. Box 133, Shanksville, PA 15560
(814) 267-4404
FAX (814) 267-6034

ENVIRONMENTAL CONSULTANTS

Asbestos & Lead Testing • Indoor Air Quality Studies
Building Inspections • Bacteria & Fungus Testing
Project Development & Oversight

Since 1985

ASBESTOS/LEAD PAINT BUILDING SURVEY
CLARION COUNTY COURTHOUSE
APRIL 2011

ALLEGHENY MOUNTAIN RESEARCH, INC.

540 John Street, P.O. Box 133, Shanksville, PA 15560
(814) 267-4404 • Fax (814) 267-6034

May 2, 2011

Mr. Richard LeBlanc, AIA
Crabtree, Rohrbaugh & Associates
401 East Winding Hill Road
Mechanicsburg, PA 17055

Re: Asbestos/Lead Based Paint Building Survey @ Clarion Co. Courthouse

On April 21, 2011, Allegheny Mountain Research, Inc. (AMR), conducted a building survey and collected representative bulk samples of suspect building materials at the subject location to identify suspected asbestos containing building materials (ACBM). Representative paint chip bulk samples of various painted surfaces were also collected to be analyzed for lead content.

The survey was completed in accordance with OSHA requirements and EPA guidelines. All bulk samples were analyzed by Environmental Hazards Services, LLC, a laboratory accredited by the American Industrial Hygiene Association (AIHA) under the National Voluntary Laboratory Accreditation Program (NVLAP). The asbestos samples were analyzed by Polarized Light Microscopy (PLM), following EPA Method 600/R-93/116. The paint chip samples were analyzed by Atomic Absorption Spectroscopy (AAS), following EPA Method SW846 7000.

Completing the survey were PA DOLI (Dept. of Labor & Industry) licensed asbestos building inspectors Gary W. Miller (#001588) and Duane E. States (#00) and PA DOLI licensed lead risk assessor William W. Stewart (#002452).

PROPERTY DESCRIPTION

The property is a 3-story masonry structure with full basement, that houses the Clarion County Courthouse. The Courthouse is located @ 421 Main Street, Clarion, PA and has a total interior area of ~28,000 SF. The exterior of the Courthouse was recently restored and will not be impacted as part of this project.

FINDINGS

Asbestos:

Building materials sampled included various types of plasters, thermal systems insulation, ceiling tile, flooring materials, mastics, terrazzo, drywall/joint compound and blown-in insulation. A total of sixty-seven (67) bulk sample results were received. There were ten (10) positive (>1% asbestos content per EPA) sample results reported:

<u>Material</u>	<u>Location</u>	<u>Approx. Quantity</u>	<u>Asbestos Content</u>	<u>Friable</u>
9" x 9" Floor Tile (under carpet)	Throughout Basement & 3 rd Fl. Rooms*	~3,600 SF	5-6%	No
9" x 9" Floor Tile	3 rd Fl. Hallway	~350 SF	3%	No
Flooring Material & Mastic (under carpet)	2 nd Fl. Law Library, Court Reporter Room & Judicial Secretary Room	~950 SF	2-4%	No

Material	Location	Approx. Quantity	Asbestos Content	Friable
Thermal Systems Insulation	Throughout Basement (incl. above Corridor ceiling)	~750 LF**	15-60%	Yes
Thermal Systems Insulation	1 st Fl. Prothonotary #1 & 1 st Fl. Comm. Conf. Room	~100 LF	45%	Yes

*(refer to floor diagrams for ACM location)

** (TSI quantity above Corridor ceiling location is estimated @ ~250 LF due to inaccessibility)

Please reference enclosed bulk sample logs, floor diagrams and laboratory sample analysis sheets for additional information.

Lead Based Paint:

Paint chip samples were collected from various representative interior wall and component surfaces. A total of fourteen (14) paint chip bulk sample results were received.

There were three (3) paint chip sample results considered to be lead based paint (>0.5% lead content by weight per EPA):

#LCC-10 - 15% lead by weight/1st Fl. Tax Claim Office/dark brown paint on metal door
 #LCC-11 - 22% lead by weight/1st Fl. Storage Room (near Prothonotary)/yellow paint on wall
 #LCC-14 - 13% lead by weight/3rd Fl. Planning Office/yellow paint on wall

Please reference enclosed bulk sample logs and laboratory sample analysis sheets for additional information.

ASBESTOS ABATEMENT BUDGET PRICING

This budget pricing is based on estimated costs that have been provided by an asbestos abatement contractor. Actual abatement costs should be lower when the project is competitively bid.

Floor tile/flooring material (~\$3.50/SF)

Total of ~4,900 SF of floor tile/flooring material x \$3.50/SF = \$17,150.00.

Thermal Systems Insulation (~\$8.00/LF)

Total of ~850 LF of TSI x \$8.00/LF = \$6,800.00.

The total cost for asbestos abatement is estimated to be <\$25,000.00.

LIMITATIONS

This survey was conducted according to generally accepted standards of good professional practice. Although effort was made to obtain a thorough evaluation of the building, this survey was limited to a visual inspection of accessible areas. Many flooring materials were covered with carpeting and following several investigatory cuttings of the carpet in an area, generalized assumptions were made regarding the flooring. Paint chip bulk samples were collected to provide a "representative" picture of various paints applied to building surfaces within this structure. No representation is made that all incidences of ACBM or lead based paint have been identified.

CONCLUSIONS/RECOMMENDATIONS

Any material that contains greater than one percent (>1.0 %) asbestos is considered asbestos-containing and must be handled according to Occupational Safety and Health Administration (OSHA), Environmental Protection Agency (EPA), PA Department of Environmental Protection (DEP) and any other applicable regulations.

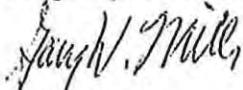
During any demolition, remodeling or renovation work, any suspect building material which may become exposed should undergo additional testing to determine the presence of asbestos. Alternatively, the suspect material may be assumed to contain asbestos and the appropriate precautionary measures taken.

As previously mentioned, "representative" paint chip samples of the various different colored paints found throughout the building were collected. The EPA definition of lead based paint is "any paint that contains greater than 0.5% lead by weight". Three (3) of the paint chip samples were reported as >0.5% lead by weight and would be considered to be lead based paint. The remainder of the paint chip sample results were below the EPA standard and would not be considered to be lead based paint by definition. However, these same painted surfaces contained *trace* concentrations of lead (<0.5%) and, if they were sanded or abraded, may create lead dust and a possible contamination issue to workers performing such activities.

OSHA assumes that any amount of lead being disturbed could be a potential health hazard to workers. An exposure assessment could be done by performing personal air monitoring on these workers when they disturb this lead based paint by their work activities. This would determine if the OSHA action level for airborne lead has been reached and what appropriate protective measures need to be taken by the contractor (respiratory protection, protective Tyvex suits, etc.).

If you need any additional information, or just a question answered, please call me at 814-267-4404. Thank you for utilizing our company's services on this project.

Respectfully submitted,
Allegheny Mountain Research, Inc.



Gary W. Miller
Building Inspector
Vice President, Operations

enclosures

11-04-03452 U

BULK SAMPLE LOG

PROJECT NAME: Clarion Co. Courthouse

Date: 4-21-11

SAMPLE NO.	TYPE OF MATERIAL	SAMPLE LOCATION	CONDITION	ASBESTOS CONTENT	HOMOGENEOUS AREA NO.
CC-1	Plaster	Basement / Accounting # 1		NAD	
CC-2	Plaster	"		"	
CC-3	(TSI) Thermal Systems Insulation	"		45%	
CC-4	TSI Fitting	"		45%	
CC-5	Plaster	Accounting # 2		NAD	
CC-6	2'x 4' Ceiling Tile	"		"	
CC-7	9" x 9" Floor Tile / mastic	"		6% FT NAD M	
CC-8	Plaster	Accounting # 4		NAD	
CC-9	9" x 9" Floor Tile / mastic	Accounting # 3		6% FT NAD M	
CC-10	Plaster	↓ Sheriff # 2		NAD	

ALLEGHENY MOUNTAIN RESEARCH, INC.
 GARY W. MILLER, ACCREDITED BUILDING INSPECTOR/PA# 001588
 814-267-4404

NAD = No Asbestos Detected

J. Chambers 4-25-11

11-04-03453 ²

BULK SAMPLE LOG

PROJECT NAME: Clinton Co. Courthouse

Date: 4-21-11

SAMPLE NO.	TYPE OF MATERIAL	SAMPLE LOCATION	CONDITION	ASBESTOS CONTENT	HOMOGENEOUS AREA NO.
CC-11	9" x 9" Floor Tile / mastic	Basement / Human Resources #1		5% FT NAD M	
CC-12	TSI	/ Maintenance		15%	
CC-13	Plaster w/ black covering	/ Boiler Room		NAD	
CC-14	TSI Fitting	/ Maintenance		60%	
CC-15	Plaster	/ Maintenance		NAD	
CC-16	Terrazzo (dark)	/ Corridor			
CC-17	Terrazzo (light)	↓ / Corridor			
CC-18	Sheet Flooring / Backing	1 st Fl. / Assessment Office			
CC-19	Sheet Flooring / Backing	↓ / Commissioner's Conf. Rm. #1			
CC-20	Drywall / Joint Compound	↓ / Commissioner's Upstairs Offices			

ALLEGHENY MOUNTAIN RESEARCH, INC.
 GARY W. MILLER, ACCREDITED BUILDING INSPECTOR/PA# 001588
 814-267-4404

NAD = No Asbestos Detected

J. Chambers 4-25-11

11-04-03453 (3)

BULK SAMPLE LOG

PROJECT NAME: Clayton Co. Courthouse

Date: 4-21-11

SAMPLE NO.	TYPE OF MATERIAL	SAMPLE LOCATION	CONDITION	ASBESTOS CONTENT	HOMOGENEOUS AREA NO.
CC-21	Plaster	1 st Fl. / Voter Registration		NAD	
CC-22	Plaster	/ Prothonotary # 3			
CC-23	Flooring material / Backing	↓ / Prothonotary # 1			
CC-24	Flooring material / Backing	2 nd Fl. / Veteran Affairs			
CC-25	Flooring material / Mastic	/ Law Library		4% FT NAD M	
CC-26	Flooring material / Mastic	/ Law Library		3-4% FT 2% M	
CC-27	Flooring material / Backing	/ Hall		NAD	
CC-28	Flooring material / Mastic	/ Court Reporter Room		2% FT NAD M	
CC-29	Flooring material / Backing	/ Court Room I (closet)		NAD	
CC-30	Flooring material / Mastic	↓ / Judicial Secretary		4% FT NAD M	

ALLEGHENY MOUNTAIN RESEARCH, INC.
 GARY W. MILLER, ACCREDITED BUILDING INSPECTOR/PA# 001588
 814-267-4404

NAD = No Asbestos Detected

D Chambers 4-25-11

11-01-03453

④

BULK SAMPLE LOG

PROJECT NAME: Clerton Co. Courthouse

Date: 4-21-11

SAMPLE NO.	TYPE OF MATERIAL	SAMPLE LOCATION	CONDITION	ASBESTOS CONTENT	HOMOGENEOUS AREA NO.
CC-31	Flooring material	2 nd Fl. / Law Clerk		NAD	
CC-32	Linoleum	Law Clerk Restroom			
CC-33	Flooring material	Room # 34			
CC-34	Plaster	Judges Chambers # 33			
CC-35	9' x 9" Floor Tile / Mastic	3 rd Fl. / Hallway		3% FT NAD M	
CC-36	Border Floor Tile	" / Hallway		4%	
CC-37	Blown-in Insulation	Tower Area		NAD	
CC-38	1' x 1' Ceiling Tile	3 rd Fl. / Elevator Foyer		"	

ALLEGHENY MOUNTAIN RESEARCH, INC.
 GARY W. MILLER, ACCREDITED BUILDING INSPECTOR/PA# 001588
 814-267-4404

NAD = No Asbestos Detected

J. Schenck
 4-25-11



Environmental Hazards Services, L.L.C.
 7469 Whitepine Rd
 Richmond, VA 23237
 Telephone: 800.347.4010

Asbestos Bulk Analysis Report

Report Number: 11-04-03453

Client: Allegheny Mountain Research
 P.O. Box 133
 Shanksville, PA 15560

Received Date: 04/25/2011
 Analyzed Date: 04/26/2011, 04/27/2011
 Reported Date: 04/28/2011

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Client Number:
 39-1142

Fax Number:
 814-267-6034

Laboratory Results

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-001	CC-1		White/Gray Gran.	NAD	1% Hair 99% Non-Fibrous
11-04-03453-002	CC-2		White/Gray Gran.	NAD	1% Hair 99% Non-Fibrous
11-04-03453-003	CC-3		Gray Fib.; White Brittle	45% Chrysotile	32% Cellulose 23% Non-Fibrous
				Total Asbestos: 45%	
11-04-03453-004	CC-4		Gray Fib.; White Brittle	45% Chrysotile	30% Cellulose 25% Non-Fibrous
				Total Asbestos: 45%	
11-04-03453-005	CC-5		White/Brown Gran.	NAD	100% Non-Fibrous

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-006	CC-6		Beige Fib.; White Powder	NAD	40% Cellulose 30% Fibrous Glass 30% Non-Fibrous
11-04-03453-007A	CC-7	Mastic I	Yellow Adhes.	NAD	100% Non-Fibrous
11-04-03453-007B	CC-7	Tile	Dk. Brown Vinyl	6% Chrysotile	94% Non-Fibrous
Total Asbestos: 6%					
11-04-03453-007C	CC-7	Mastic II	Black Tar-Like	NAD	1% Cellulose 99% Non-Fibrous
11-04-03453-008	CC-8		White/Gray Gran.	NAD	1% Hair 99% Non-Fibrous
11-04-03453-009A	CC-9	Mastic I	Dk. Yellow Adhes.	NAD	1% Synthetic 99% Non-Fibrous
11-04-03453-009B	CC-9	Tile	Dk. Brown Vinyl	6% Chrysotile	94% Non-Fibrous
Total Asbestos: 6%					
11-04-03453-009C	CC-9	Mastic II	Black Tar-Like	NAD	1% Cellulose 99% Non-Fibrous
11-04-03453-010	CC-10		White/Gray Gran.	NAD	100% Non-Fibrous

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-011A	CC-11	Mastic I	Yellow Adhes.	NAD	100% Non-Fibrous
11-04-03453-011B	CC-11	Tile	Dk. Red Vinyl	5% Chrysotile	95% Non-Fibrous
Total Asbestos: 5%					
11-04-03453-011C	CC-11	Mastic II	Black Tar-Like	NAD	100% Non-Fibrous
11-04-03453-012	CC-12		Tan Fib.	15% Chrysotile	78% Cellulose 7% Non-Fibrous
Total Asbestos: 15%					
11-04-03453-013	CC-13		Tan Gran.	NAD	1% Cellulose 4% Hair 95% Non-Fibrous
11-04-03453-014	CC-14		Gray Fib.	60% Chrysotile	28% Cellulose 12% Non-Fibrous
Total Asbestos: 60%					
11-04-03453-015	CC-15		Brown Gran.	NAD	6% Hair 94% Non-Fibrous
11-04-03453-016	CC-16		Dk. Gray Gran.	NAD	100% Non-Fibrous
11-04-03453-017	CC-17		Lt. Gray Gran.	NAD	100% Non-Fibrous

Rev 1.0 (Revised On: 04/29/2011): Corrected results for sample #11B to show percent of Chrysotile present.

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-018A	CC-18	Linoleum	Gray Vinyl; Black Fib.	NAD	32% Cellulose 68% Non-Fibrous
11-04-03453-018B	CC-18	Felt	Brown/Tan Fib.	NAD	90% Cellulose 10% Non-Fibrous
11-04-03453-019A	CC-19	Linoleum	Brown Vinyl; Fib.	NAD	28% Cellulose 72% Non-Fibrous
11-04-03453-019B	CC-19	Mastic	Brown Adhes.	NAD	1% Cellulose 99% Non-Fibrous
11-04-03453-019C	CC-19	Felt	Black Tar-Like; Fib.	NAD	78% Cellulose 22% Non-Fibrous
11-04-03453-020	CC-20		White Gran.; White Paint-Like	NAD	15% Fibrous Glass 85% Non-Fibrous
11-04-03453-021	CC-21		White/Gray Gran.	NAD	3% Cellulose 97% Non-Fibrous
11-04-03453-022	CC-22		Beige/White Gran.; White Paint-Like	NAD	2% Cellulose 2% Hair 96% Non-Fibrous

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-023	CC-23		Brown Fib.; Black Vinyl-Like	NAD	95% Cellulose 5% Non-Fibrous
11-04-03453-024A	CC-24	Linoleum	Beige Vinyl-Like	NAD	5% Cellulose 95% Non-Fibrous
11-04-03453-024B	CC-24	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-024C	CC-24	Mastic	Yellow Adhes.	NAD	2% Cellulose 8% Synthetic 90% Non-Fibrous
11-04-03453-024D	CC-24	Mastic	Brown Brittle	NAD	10% Cellulose 90% Non-Fibrous
11-04-03453-025A	CC-25	Tile	Black Gran.	4% Chrysotile	96% Non-Fibrous
				Total Asbestos: 4%	
11-04-03453-025B	CC-25	Mastic	Yellow Adhes.	NAD	5% Cellulose 95% Non-Fibrous
11-04-03453-026A	CC-26	Tile	Black Gran.	4% Chrysotile	96% Non-Fibrous
				Total Asbestos: 4%	
11-04-03453-026B	CC-26	Tile	Green Gran.	3% Chrysotile	97% Non-Fibrous
				Total Asbestos: 3%	

Environmental Hazards Services, L.L.C

Client Number: 39-1142
 Project/Test Address: Clarion Co. Courthouse, Clarion, PA

Report Number: 11-04-03453

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-026C	CC-26	Mastic	Yellow Adhes.	NAD	2% Cellulose 98% Non-Fibrous
11-04-03453-026D	CC-26	Mastic	Black Adhes.	2% Chrysotile	3% Cellulose 95% Non-Fibrous
Total Asbestos: 2%					
11-04-03453-027A	CC-27	Linoleum	Black Vinyl-Like	NAD	30% Cellulose 70% Non-Fibrous
11-04-03453-027B	CC-27	Mastic	Yellow Adhes.	NAD	2% Cellulose 3% Synthetic 95% Non-Fibrous
11-04-03453-027C	CC-27	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-027D	CC-27	Mastic	Brown Brittle	NAD	8% Cellulose 92% Non-Fibrous
11-04-03453-028A	CC-28	Tile	Beige Gran.	2% Chrysotile	98% Non-Fibrous
Total Asbestos: 2%					
11-04-03453-028B	CC-28	Mastic	Yellow Adhes.	NAD	2% Cellulose 98% Non-Fibrous
11-04-03453-028C	CC-28	Mastic	Black Adhes.	Trace <1% Chrysotile	100% Non-Fibrous
Total Asbestos: Trace <1%					
Possible contamination from tile.					

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-029A	CC-29	Linoleum	Black Vinyl-Like; Brown Fib.	NAD	35% Cellulose 65% Non-Fibrous
11-04-03453-029B	CC-29	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-029C	CC-29	Mastic	Brown Brittle	NAD	8% Cellulose 92% Non-Fibrous
11-04-03453-030A	CC-30	Tile	Black Gran.	4% Chrysotile	96% Non-Fibrous
Total Asbestos: 4%					
11-04-03453-030B	CC-30	Mastic	Yellow Adhes.	NAD	2% Cellulose 3% Synthetic 95% Non-Fibrous
11-04-03453-030C	CC-30	Mastic	Black Adhes.	Trace <1% Chrysotile	5% Cellulose 95% Non-Fibrous
Total Asbestos: Trace <1%					
Possible contamination from Tile					
11-04-03453-030D	CC-30	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-031A	CC-31	Linoleum	Beige Vinyl-Like; Brown Fib.	NAD	35% Cellulose 5% Synthetic 60% Non-Fibrous

Environmental Hazards Services, L.L.C

Client Number: 39-1142

Report Number: 11-04-03453

Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Lab Sample Number	Client Sample Number	Labor Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-031B	CC-31	Mastic	Brown Brittle	NAD	5% Cellulose 95% Non-Fibrous
11-04-03453-031C	CC-31	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-032	CC-32		Beige Fib.; Beige Vinyl-Like	NAD	40% Cellulose 10% Fibrous Glass 10% Synthetic 40% Non-Fibrous
11-04-03453-033A	CC-33	Felt	Black Fib.	NAD	80% Cellulose 10% Synthetic 10% Non-Fibrous
11-04-03453-033B	CC-33	Mastic	Yellow/Brown Brittle	NAD	8% Cellulose 92% Non-Fibrous
11-04-03453-034	CC-34		Gray/White Gran.; Beige Paint-Like	NAD	2% Cellulose 98% Non-Fibrous
11-04-03453-035	CC-35		Brown Gran.	3% Chrysotile	97% Non-Fibrous
Total Asbestos: 3%					
Insufficient quantity of mastic for analysis					
11-04-03453-036	CC-36		Black Gran.	4% Chrysotile	96% Non-Fibrous
Total Asbestos: 4%					

Environmental Hazards Services, L.L.C

Client Number: 39-1142
 Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Report Number: 11-04-03453

Lab Sample Number	Client Sample Number	Layer Type	Lab Gross Description	Asbestos	Other Materials
11-04-03453-037	CC-37		Beige/Black Fib.	NAD	70% Cellulose 20% Fibrous Glass 10% Non-Fibrous
11-04-03453-038	CC-38		Gray Fib.; White Paint-Like	NAD	10% Cellulose 70% Fibrous Glass 20% Non-Fibrous

QC Sample: 4-M2-1991-1
 QC Blank: SRM 1866 Fiberglass
 Reporting Limit: 1% Asbestos
 Method: EPA Method 600/R-93/116
 Analyst: Vickie Holmes, Timothy Harris

Reviewed By Authorized Signatory:



Tasha Eaddy
 QA/QC Clerk

The condition of the samples analyzed was acceptable upon receipt per laboratory protocol unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, volume, etc., was provided by the client. This report cannot be used by the client to claim product endorsement by NVLAP or any agency of the U.S. Government. This report shall not be reproduced except in full, without the written consent of the Environmental Hazards Service, L.L.C. California Certification #2319 NY ELAP #11714. All information concerning sampling location, date, and time can be found on Chain-of-Custody. Environmental Hazards Services, L.L.C. does not perform any sample collection.

Environmental Hazards Services, L.L.C. recommends reanalysis by point count (for more accurate quantification) or Transmission Electron Microscopy (TEM), (for enhanced detection capabilities) for materials regulated by EPA NESHAP (National Emission Standards for Hazardous Air Pollutants) and found to contain less than ten percent (<10%) asbestos by polarized light microscopy (PLM). Both services are available for an additional fee.

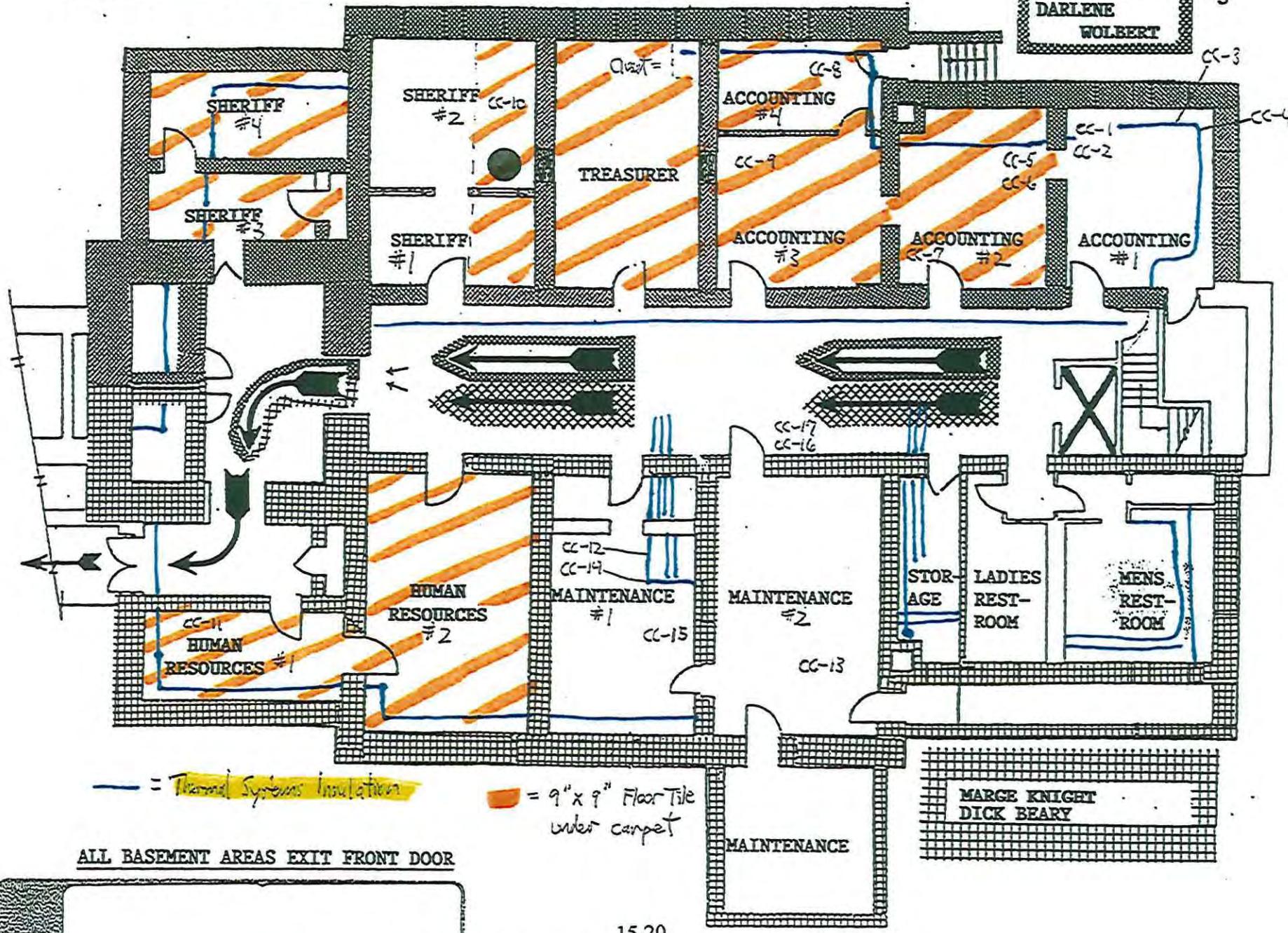
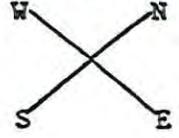
* All California samples analyzed by Polarized Light Microscopy, EPA Method 600/M4-82-020, Dec. 1982.

LEGEND: NAD = no asbestos detected

FIRE ESCAPE PLAN

CLARION COUNTY COURT HOUSE

BASEMENT



SCOTT KEEFER
DARLENE
WOLBERT

MARGE KNIGHT
DICK BEARY

— = Thermal Systems Insulation

■ = 9" x 9" Floor Tile under carpet

ALL BASEMENT AREAS EXIT FRONT DOOR

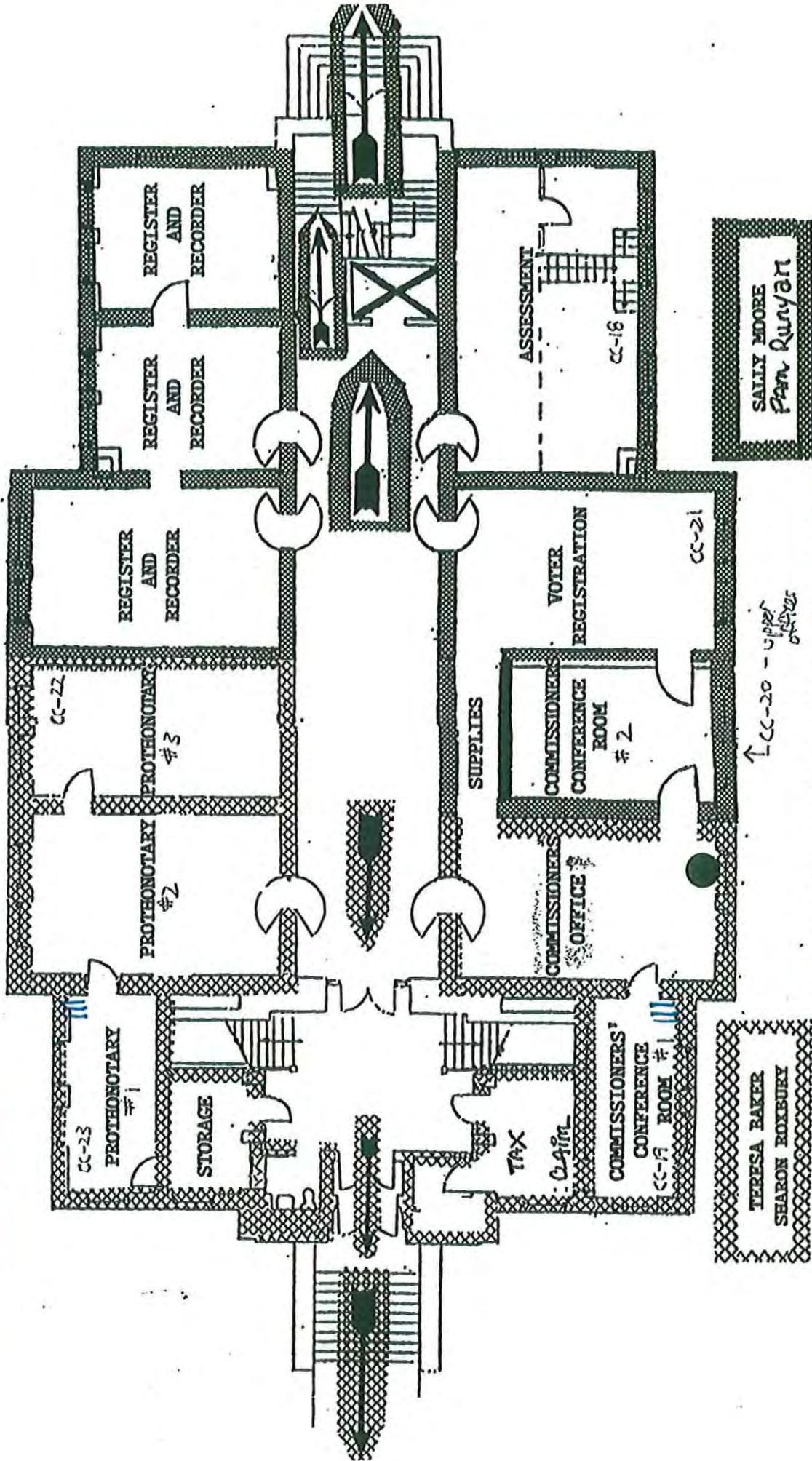
15.20

ELEVATOR SHOULD BE LOWERED TO THE BASEMENT AND THE DOOR...

CLACKON COUNTY COURTHOUSE

FIRST FLOOR

Thermal Systems Insulation



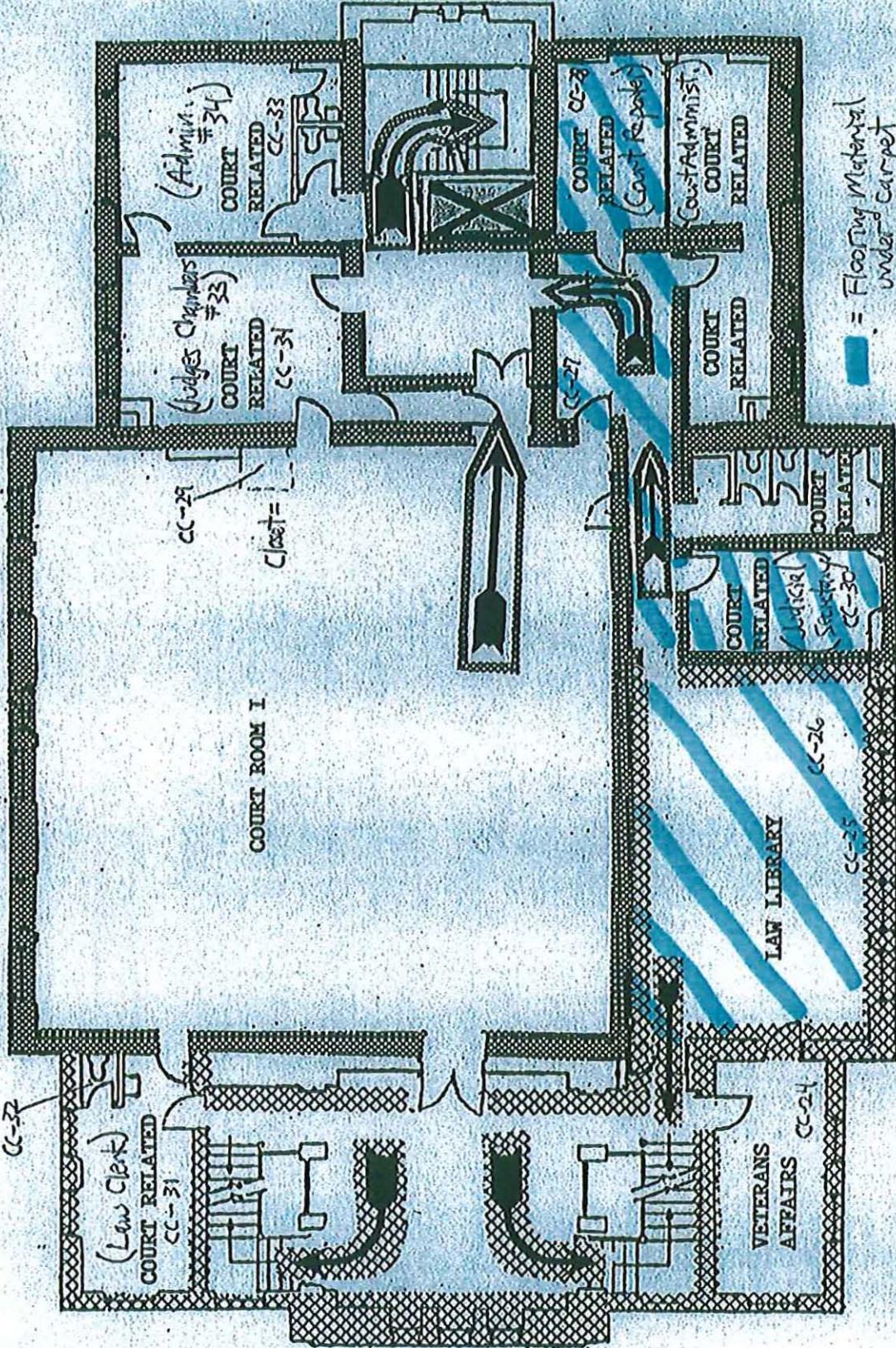
DO NOT USE ELEVATOR

FIRE ESCAPE PLAN

CLARION COUNTY COURT HOUSE

SECOND FLOOR

1011
1012
1013



■ = Flooring Material
under Carpet

ROBERT JORDAN
TAMMY SLIKE

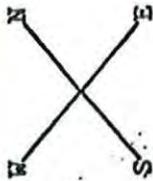
15.22

ALL CHECKERED AREAS EXIT FRONT DOOR - ALL POLKADOT AREAS EXIT REAR DOOR

DO NOT USE ELEVATOR

JUDY EHRHART

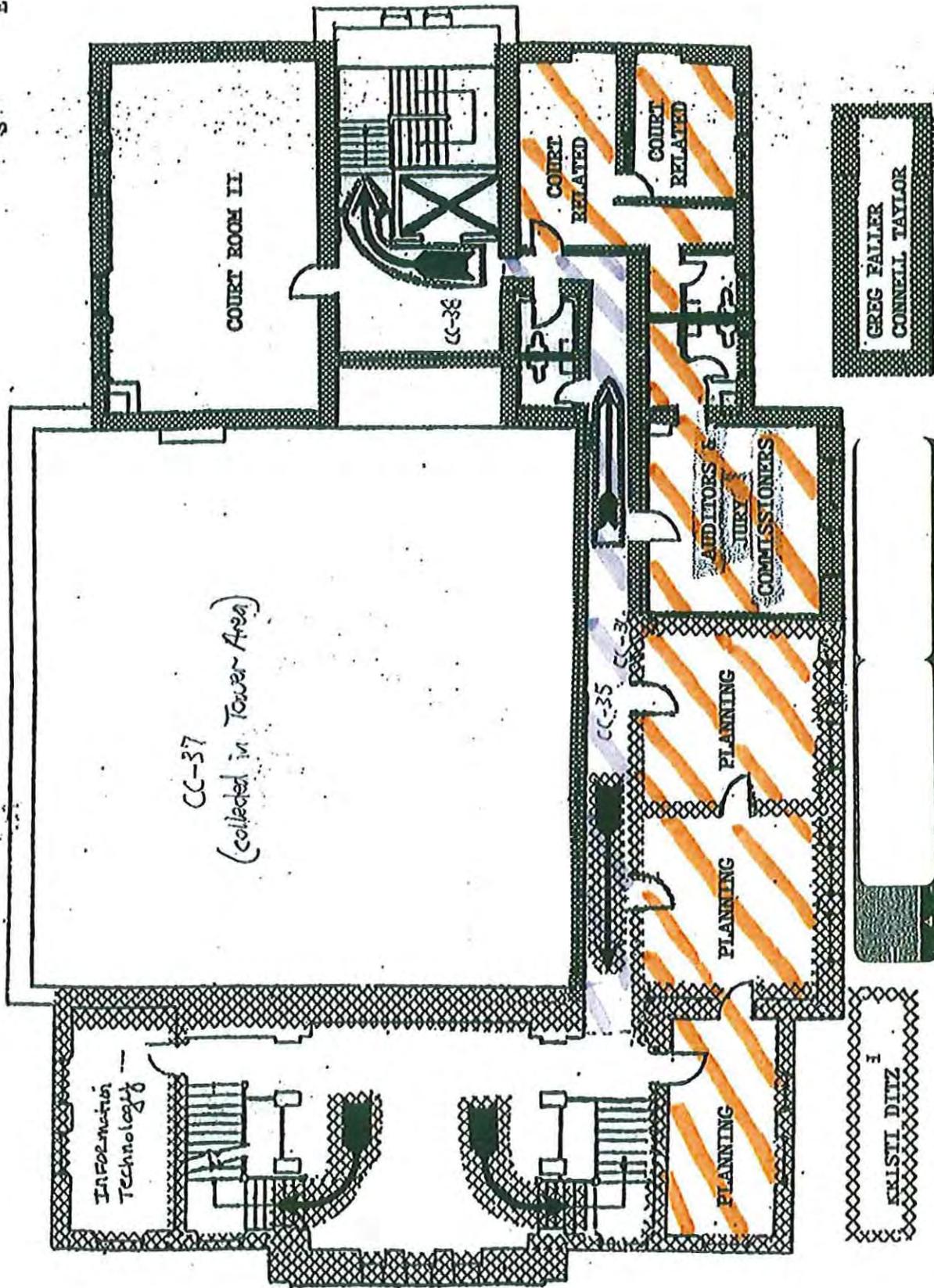
* Sample 2 10/15



FIRE ESCAPE PLAN

CLARION COUNTY COURT HOUSE

THIRD FLOOR



- = 9" x 9" Floor Tile
- = under carpet
- = 9" x 9" Floor Tile

ALL CHECKERED AREAS EXIT FRONT DOOR - ALL POLKADOT AREAS EXIT REAR DOOR

DO NOT USE ELEVATOR

15.23

GREG FALLER
CONNELL TAYLOR

BULK SAMPLE LOG (LEAD)

PROJECT NAME: Clarion Co. Courthouse

DATE: 4-21-11

11-04-03455

①

Sample No.	Type of Material	Sample Location	Condition	Concentration (Mg/ppm)	Concentration (% by weight)
LCC-1	Paint chip	Basement / Accounting #1 (wall)	off-white		0.17
LCC-2		/ Accounting #3 (wall)	off-white		0.0093
LCC-3		/ Human Resources closet (wall)	yellow		0.021
LCC-4		/ Human Resources #2 (wall)	off-white		<0.0043
LCC-5		/ Human Resources #2 (wall)	blue		<0.0041
LCC-6		↓ / Maintenance (Floor)	gray		0.08
LCC-7		1 st Fl. / Assessment office (wall)	lt. blue		0.0042
LCC-8		/ Assessment Office (wall)	darker blue		<0.0050
LCC-9		/ Commissioner ^{Upstairs} Offices (wall)	pink		<0.0043
LCC-10		/ Tax Claim (metal door)	dark brown		15
LCC-11		↓ / Storage (Near Prothonotary) (wall)	yellow		22
LCC-12	↓	3 rd Fl. / Planning (wall)	lt. green		0.0052

ALLEGHENY MOUNTAIN RESEARCH, INC.

GARY W. MILLER, ACCREDITED BUILDING INSPECTOR

814-267-4404

Chambers

15.24

4-25-11



Environmental Hazards Services, L.L.C.
 7469 Whitepine Rd
 Richmond, VA 23237
 Telephone: 800.347.4010

Lead Paint Chip Analysis Report

Report Number: 11-04-03455

Client: Allegheny Mountain Research
 P.O. Box 133
 Shanksville, PA 15560

Received Date: 04/25/2011
 Analyzed Date: 04/27/2011
 Reported Date: 04/28/2011

Project/Test Address: Clarion Co. Courthouse; Clarion, PA
 Collection Date: 04/21/2011

Client Number:
 39-1142

Laboratory Results

Fax Number:
 814-267-6034

Lab Sample Number	Client Sample Number	Collection Location	Pb (ug/g) ppm	% Pb by Wt.	Narrative ID
11-04-03455-001	LCC-1	BASEMENT/ACCOUNTING #1	1700	0.17	
11-04-03455-002	LCC-2	BASEMENT/ACCOUNTING #3	93	0.0093	
11-04-03455-003	LCC-3	BASEMENT/HUMAN RESOURCES CLOSET	210	0.021	
11-04-03455-004	LCC-4	BASEMENT/HUMAN RESOURCES #2	<43	<0.0043	
11-04-03455-005	LCC-5	BASEMENT/HUMAN RESOURCES #2	<41	<0.0041	L04
11-04-03455-006	LCC-6	BASEMENT/MAINTENANCE	180	0.018	
11-04-03455-007	LCC-7	1ST FL/ASSESSMENT OFFICE	42	0.0042	L04
11-04-03455-008	LCC-8	1ST FL/ASSESSMENT OFFICE	<50	<0.0050	
11-04-03455-009	LCC-9	1ST FL/COMMISSIONER UPSTAIRS OFFICES	<43	<0.0043	L04
11-04-03455-010	LCC-10	1ST FL/TAX CLAIM	150000	15	
11-04-03455-011	LCC-11	1ST FL/STORAGE (NEAR PROTHONATARY)	220000	22	

Environmental Hazards Services, L.L.C

Client Number: 39-1142
 Project/Test Address: Clarion Co. Courthouse; Clarion, PA

Report Number: 11-04-03455

Lab Sample Number	Client Sample Number	Collection Location	Pb (ug/g) ppm	% Pb by Wt.	Narrative ID
11-04-03455-012	LCC-12	3RD FL/PLANNING	52	0.0052	
11-04-03455-013	LCC-13	3RD FL/PLANNING	3900	0.39	L03 L04
11-04-03455-014	LCC-14	3RD FL/PLANNING	130000	13	L04

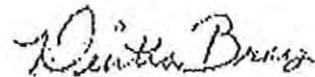
Sample Narratives:

L04: Sample contains substantial amounts of substrate which may affect the calculated results with units of ppm and % by weight.

L03/L04: Sample submitted was less than the recommended amount. A minimum of 0.1 grams should be submitted. Sample contains substantial amounts of substrate which may affect the calculated results with units of ppm and % by weight.

Method: EPA SW846 7000

Accreditation #: PA VA01122



Reviewed By Authorized Signatory: _____

DeeDee Bray
 QA/QC Clerk

The HUD lead guidelines for lead paint chips are 0.50% by Weight, 5000 ppm, or 1.0 mg/cm². The Reporting Limit (RL) is 10.0 ug Total Pb. Paint chip area and results are calculated based on area measurements determined by the client. All internal quality control requirements associated with this batch were met, unless otherwise noted.

The condition of the samples analyzed was acceptable upon receipt per laboratory protocol unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, etc., was provided by the client. Results reported above in mg/cm³ are calculated based on area supplied by client. This report shall not be reproduced except in full, without the written consent of the Environmental Hazards Service, L.L.C. California Certification #2319 NY ELAP #11714.

LEGEND	Pb= lead	ug = microgram	ppm = parts per million
	ug/g = micrograms per gram	Wt. = weight	

001588



Sex M Height 5'10" Eyes BLU Birth Date 07/19/195
Expires 03/17/2012 Issue Date 03/31/2011
Class INSPECTOR
GARY W MILLER
8945 GLADES PIKE
BERLIN PA 15530

EAST Environmental and Safety Training, Inc.

12000 Frankstown Road, Suite 102
Pittsburgh, PA 15235
Phone: (412) 795-5532
FAX: (412) 795-1415

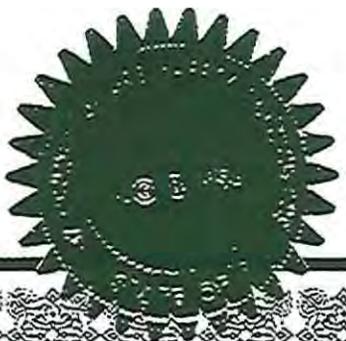
This is to certify that
GARY W. MILLER
C8911S

has completed the following training course
with a passing score of 70 percent or better
for asbestos accreditation under TSCA Title II

ASBESTOS BUILDING INSPECTOR RECERTIFICATION COURSE

C8911S
Number
March 17, 2011
Course Date
March 17, 2011
Exam Date
March 17, 2012
Expiration Date

Joseph W. Grad
Director of Training



016758



Sex: M Height: 6'02" Eyes: BLU Birth Date: 02/27/1947
 Expires: 08/09/2011 Issue Date: 08/27/2010
 Class: MANAGEMENT PLANNER
 DUANE E STATES
 1121 TENER STREET
 JOHNSTOWN PA 15904

016758



Sex: M Height: 6'02" Eyes: BLU Birth Date: 02/27/1947
 Expires: 08/09/2011 Issue Date: 08/27/2010
 Class: INSPECTOR
 DUANE E STATES
 1121 TENER STREET
 JOHNSTOWN PA 15904

GST COMPANY

TRAINING SPECIALISTS

This certifies that

DUANE E. STATES

Has successfully completed the requisite training
 for Asbestos Accreditation and passed an examination for

ASBESTOS BUILDING INSPECTOR/MANAGEMENT PLANNER REFRESHER

In accordance with Section 206 of the Toxic Substances Control Act (TSCA) Title 11

5020-ST
 Certification Number

August 9, 2010
 Course Date(s)

August 9, 2010
 Exam Date

August 9, 2011
 Expiration Date

Norma Stanford

GST Co.
 60 Progress Avenue
 Cranberry Township, PA 16066
 (412) 418-6019

PENNSYLVANIA LEAD CERTIFICATE

002452

AI 5'06" 2RN 05-03-1947

12-15-2011 12-25-2013

RISK ASSESSOR

WILLIAM W STEWART
3349 NATIONAL PIKE
FARMINGTON PA 15437

William W Stewart

